

Town of Abita Springs

Historic Meeting Date: 5-9-23

APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

Date: 04.27.23

Type of Approval

- Owner
Applicant

- New Construction
Renovation
Accessory Building (not livable)
Ancillary Building (livable structure)

Other: GARAGE

APPLICATION FOR PERMIT TO: (Briefly describe project- Use separate paper if necessary)

BUILD 3 CAR DETACHED GARAGE. ALL WHITE HARDIE BOARD & METAL ROOF TO MATCH HOUSE, WITH CARRIAGE STYLE GARAGE DOORS

APPLICANT NAME: KAREN DURST
Email: Karenjdurst@gmail.com Phone: 504.813-0619
Address: 23050 Hwy 435 Abita Springs LA 70420

OWNER (IF DIFFERENT FROM APPLICANT):
Email:
Phone:
Address:

CONTRACTOR NAME & COMPANY:
Email:
Address:

Signature of Owner [Signature] Date: 04.27.23
Signature of Applicant
Date



7 DAYS NOTICE REQUIRED BEFORE FINAL APPROVAL OF CONSTRUCTION. IF YOU BUILD IN THE HISTORIC DISTRICT APPROVAL MUST BE GIVEN BEFORE YOUR CERTIFICATE OF OCCUPANCY WILL BE ISSUED.

Commissioners Initial

Ron Blitch
Otto Dinkelacker
Thad Mancil
Andre Monnot
Paul Vogt

Review Date:
Approved:
Commissioner Assigned:
Work Completed as Presented:
Inspected on Date:

APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

SUBJECT PROPERTY

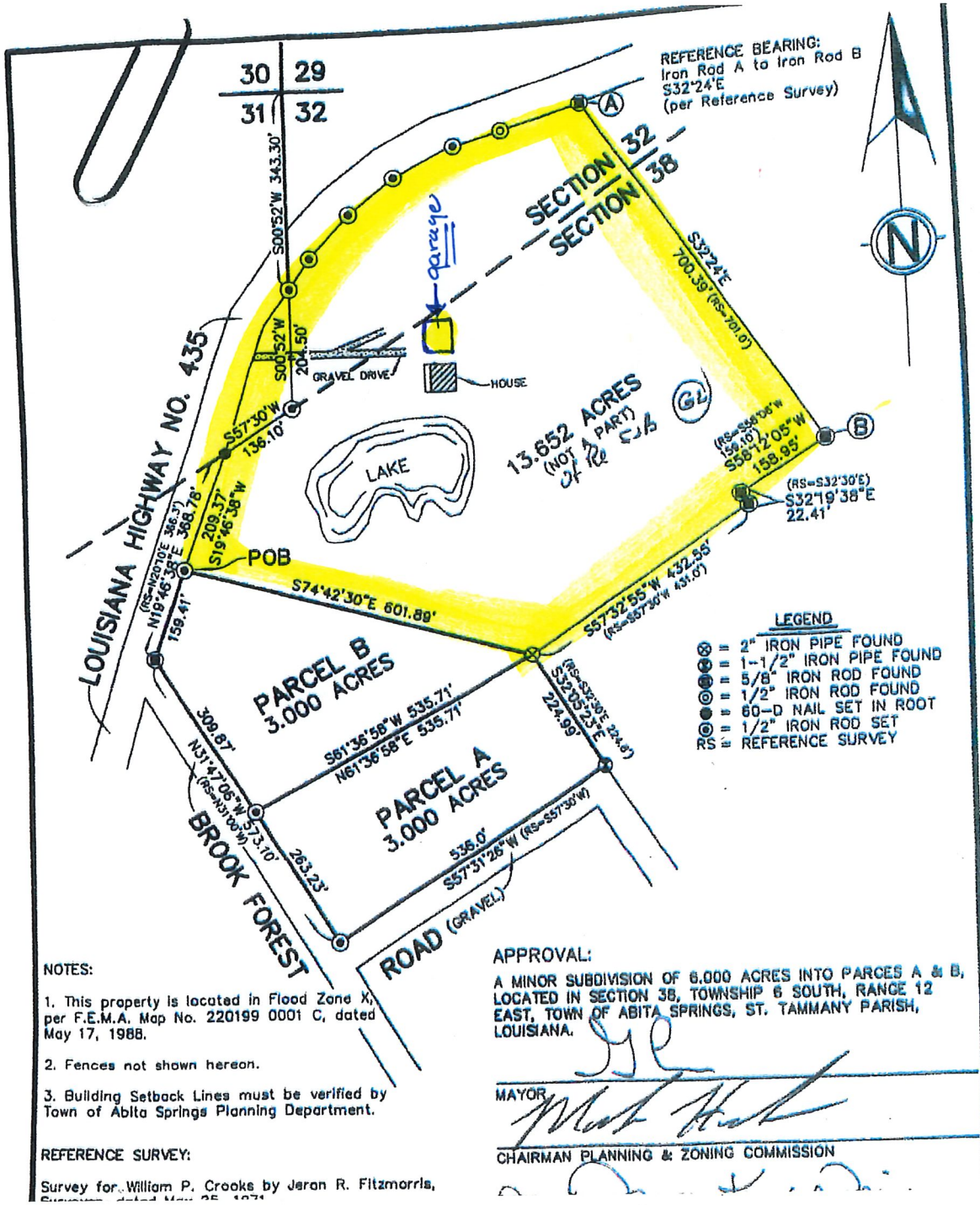
Street Address or Legal Description: 23050 HWY 435 ABITA SPRINGS 70420
Nearest Cross Streets: BROOK FOREST Lot Dimensions: 13.6 ACRES
Work Begins: Estimated Completion Date:

RESIDENTIAL HISTORIC CHECK LIST

FOUNDATION [] Concrete Block [] Brick [] Continuous Chain Wall [] Raised Slab (36" above ground)
CRAWLSPACE [] 24" Clear
SIDING [] Vinyl [] Wood [X] Hardie Plank
ROOF [X] Metal [] Fiberglass Shingles Slope: [] 8/12 Minimum
FRONT PORCH [] Wood [] 7' Minimum Depth 2/3 Minimum Front Width of House: [] Yes [] No
CHIMNEY [] Stovepipe [] Brick [] None
STEPS [] Wood [] Bricks Railing: [] Wood [] Spacing 4"
HEIGHT Height of Building: 35' Maximum
WINDOW TRIM [] Vinyl [] Wood [] Hardie Plank [] Other
TRIM [] Vinyl [] Wood [] Hardie Plank [] Other
COLUMNS [] Vinyl [] Wood [] Hardie Plank [] Other
DOORS [] Vinyl [] Wood [] Hardie Plank [] Other
SHUTTERS [] Vinyl [] Wood [] Hardie Plank Must be 1/2 Width of Windows [] Yes [] No
ACCESSORY BUILDINGS [X] Garage [] Shed [] Other
FENCES [] Wood Type: [] 4' Picket [] 7' Privacy [] 6' Privacy with 2' Lattice
LIGHTING No Fluorescent Strip Lighting or Fixtures
SIGNS [] Permanent [] Temporary



Map data ©2023 Google 200 ft



REFERENCE BEARING:
Iron Rod A to Iron Rod B
S32°24'E
(per Reference Survey)



- LEGEND**
- ⊗ = 2" IRON PIPE FOUND
 - ⊙ = 1-1/2" IRON PIPE FOUND
 - ⊕ = 5/8" IRON ROD FOUND
 - ⊘ = 1/2" IRON ROD FOUND
 - ⊙ = 60-D NAIL SET IN ROOT
 - RS = 1/2" IRON ROD SET
 - RS = REFERENCE SURVEY

NOTES:

1. This property is located in Flood Zone X, per F.E.M.A. Map No. 220199 0001 C, dated May 17, 1988.
2. Fences not shown hereon.
3. Building Setback Lines must be verified by Town of Abita Springs Planning Department.

REFERENCE SURVEY:

Survey for William P. Crooks by Jeron R. Fitzmorris, Surveyor dated May 25, 1978

APPROVAL:

A MINOR SUBDIVISION OF 6.000 ACRES INTO PARCELS A & B, LOCATED IN SECTION 38, TOWNSHIP 6 SOUTH, RANGE 12 EAST, TOWN OF ABITA SPRINGS, ST. TAMMANY PARISH, LOUISIANA.

[Signature]
MAYOR
[Signature]
CHAIRMAN PLANNING & ZONING COMMISSION





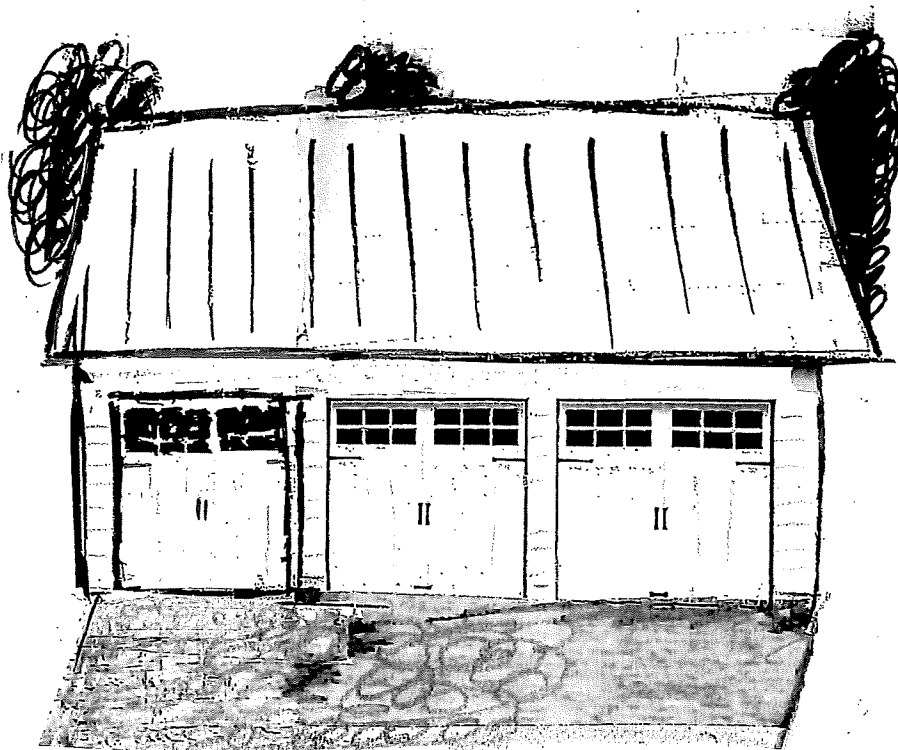
23050







ACTUAL
GARAGE DOORS
(White Carriage Style)



My drawing ☺

GENERAL NOTES

This plan was designed and drafted BY Advanced Design Inc. to meet average conditions and codes in the State of Nebraska at the time it was designed. This plan was also designed for Seismic Site Class D. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, cannot warrant compliance with any specific codes or regulations. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, however, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases the designer from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter.

If the contractor or sub-contractor, in the course of their work finds any discrepancies between the plan and the physical conditions of the site or structure, or any errors in the plans or specifications, it shall be their responsibility to immediately inform ADI, who will promptly verify and if necessary correct the working drawings. Any work done after such discovery will be done at the contractor's expense.

DESIGN LOADS:

- Floor: 40 psf. live, 15 psf. dead
- Roof: 30 psf. live, 10 psf. dead
- Ceiling: 10 psf. live, 10 psf. dead
- Soil bearing Capacity - 1500 psf.

Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific local data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- All foundation walls and slabs on grade shall be 3000 PSI (or any compressive strength concrete unless noted otherwise).
- All interior slabs on grade shall base on 4" compacted gravel fill with 6 mil polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local requirements.
- All 36" x 36" x 18" concrete piers to have (3) #5 rods each way.
- All 48" x 48" x 24" concrete piers to have (4) #5 rods each way.
- Foundation walls are not to be backfilled until properly braced.
- Verify depth of frost footings with your local codes.
- Provide tarcrete protection as required by HUD minimum property standards.
- Foundation bolts must be anchored to all plate with 5/8" bolts embedded 15" in concrete walls.

STEEL:

- All structural steel for beams and plates shall comply with ASTM specification A-36.
- All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-50.
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- Provide steel shims in all beam pockets.
- Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

- Unless noted otherwise, all framing lumber shall have the following characteristics: Fv = 75 psf E = 1,400,000 psi
- Contractor to confirm the size, spacing and brand characteristics of all framing and structural members to meet your local code requirements.
- Joist sizes and locations in gable or Laminated Veneered Lumber (L.V.L.) members are to be confirmed by a professional engineer.
- Any structural or framing members not indicated on the plan are to be sized by contractor.
- Double floor joists under all partition walls, unless noted otherwise.
- All subflooring is assumed to be 3/4" thick, glued & nailed.
- All exterior walls are dimensioned to outside of 1/2" sheathing.
- Calculated dimensions take precedence over scaled dimensions.
- All eaved walls on floor plans are at 45 degree angle, unless otherwise noted.
- Any wall 12'-0" high or higher shall be 2x6 and balloon framed. Unless noted otherwise, above all openings that are:
 - (1) Load bearing and less than or equal to 3 ft. use 4x6.
 - (2) Load bearing and more than 3 ft. use (2) 2x12 with 1/2" Plywood between.
 - (3) Non-load bearing and less than or equal to 6 ft. use 4x6.
 - (4) Non-load bearing and more than 6 ft. use (2) 2x12 with 1/2" Plywood between.
- All exterior openings use (2) 2x12 with 1/2" Plywood between.
- All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- All exterior corrals shall be braced in each direction with lat-in diagonal bracing of Plywood.
- Place (1) row of 1" x 3" cross-bridging on all spans over 6'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- Collar ties are to be spaced 4'-0" o.c.
- All pullins and kickers are to be 2x6, unless noted otherwise.
- Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

- Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.
- Provide proper insulation for all plumbing, 1/2" water-resistant gyp wall around showers, tubs and whirlpools.
- 1/2" gyp wall on interior walls and ceilings.
- 5/8" type "X" fire code gyp wall on garage walls and ceilings.
- When no brand is specified windows are called out by glass size only.
- Windows, if not noted, are assumed to be casements.
- Header heights are labeled to bottom of arches trusses.
- Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- Headroom at stairs shall have a minimum clearance of 6'-8" high.
- Provide proper handrails at stairs per local codes.
- The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- Joist ties to rest of ridge as necessary.
- Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools per manufacturer's specifications.
- Air conditioner locations may vary depending on restrictive covenants and codes.

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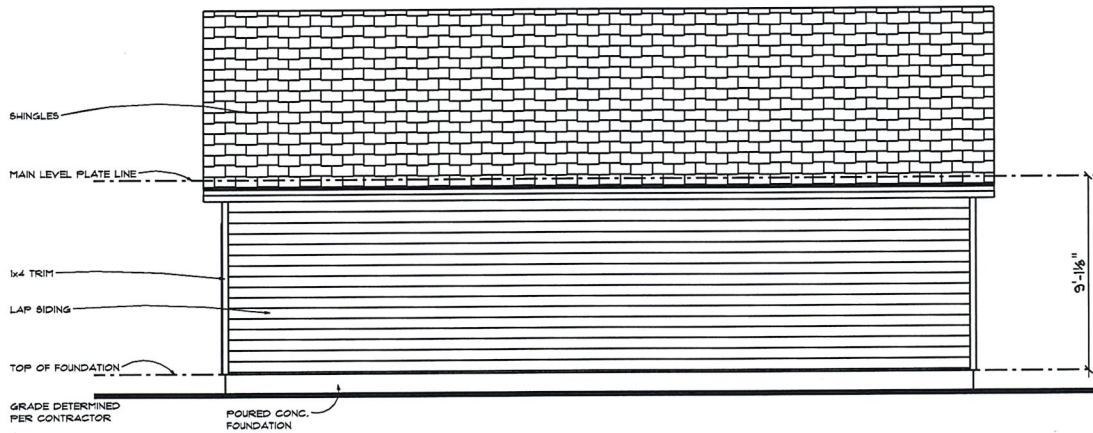
Metal Roof & Carriage Style Doors
(DOORS WILL BE WHITE CARRIAGE STYLE)

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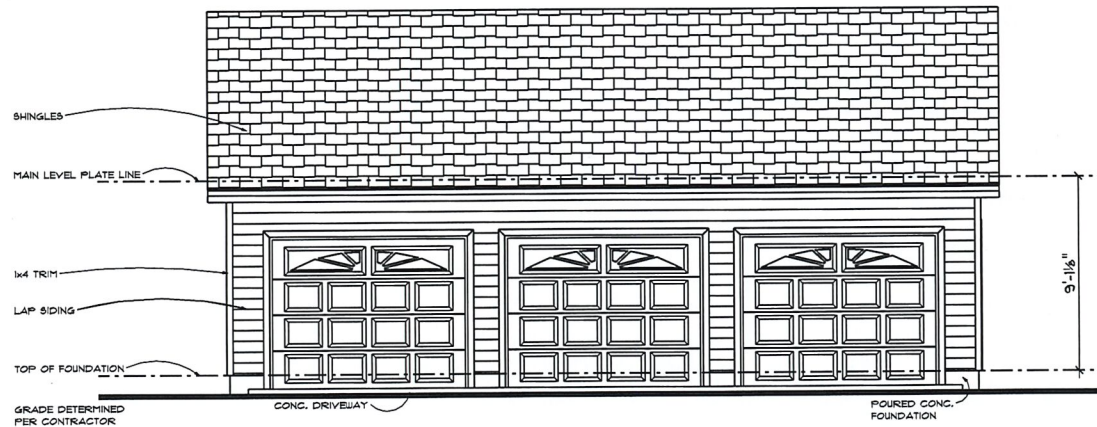
100% SCALE = 1/8"=1'-0"

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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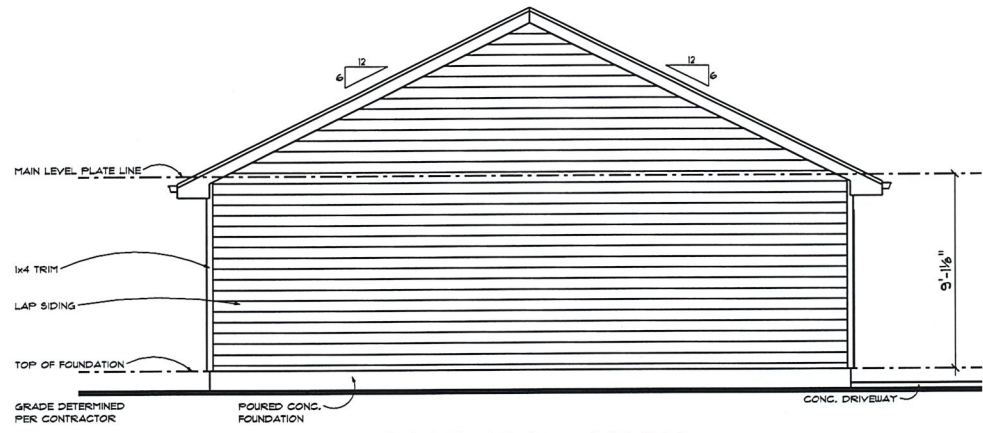
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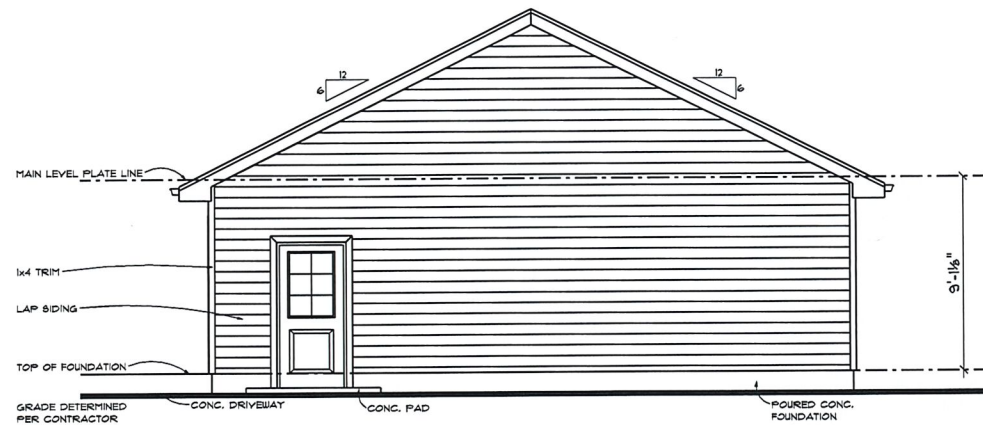
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100% S.C.A. © 18" x 34"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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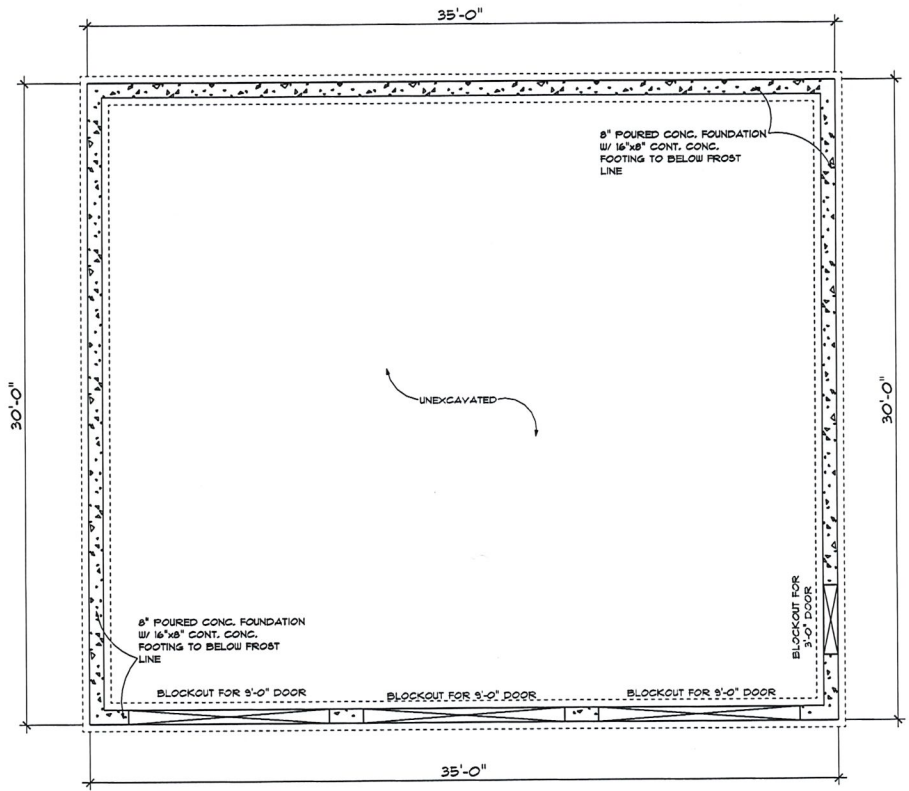
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FOUNDATION PLAN
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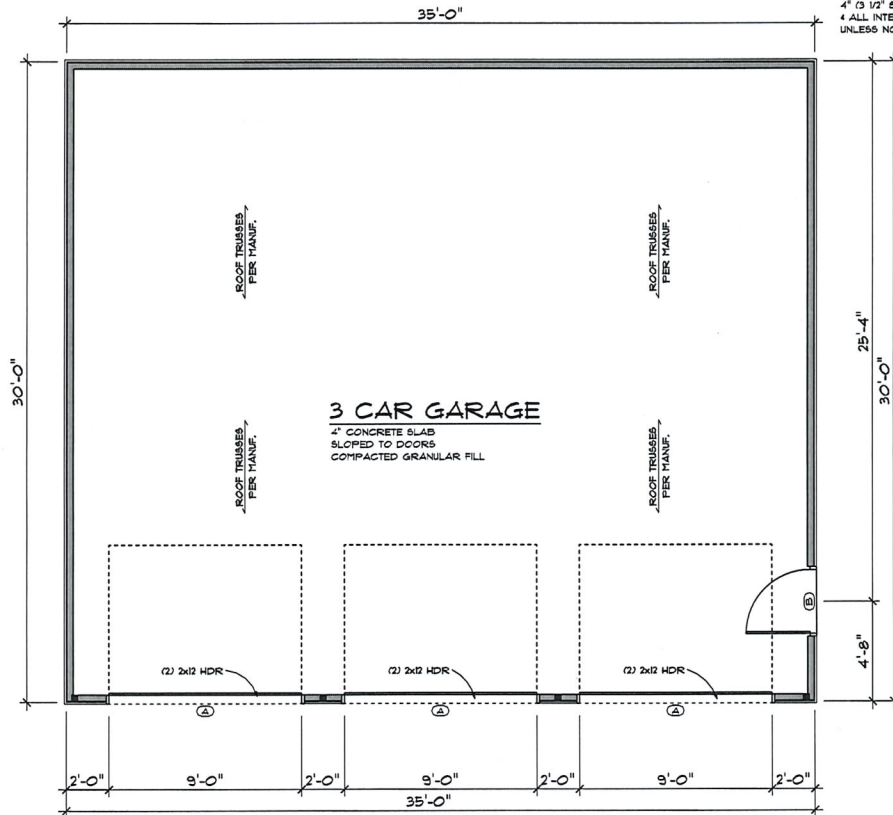
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100% SCALE = 18" X 24"

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OPENING SCHEDULE				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
A	GARAGE	105X84	9'-0" x 7'-0"	3
B	DOOR	36X80 1	5'-0" x 6'-8"	1

- GENERAL NOTES:**
1. ALL MAIN LEVEL WALLS ARE 5'-1/8" HIGH UNLESS NOTED OTHERWISE
 2. ALL ANGLED WALLS ARE + 45 DEG. UNLESS NOTED OTHERWISE
 3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD/2" SHEATHING)
 4. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

GARAGE 1050 sq ft.

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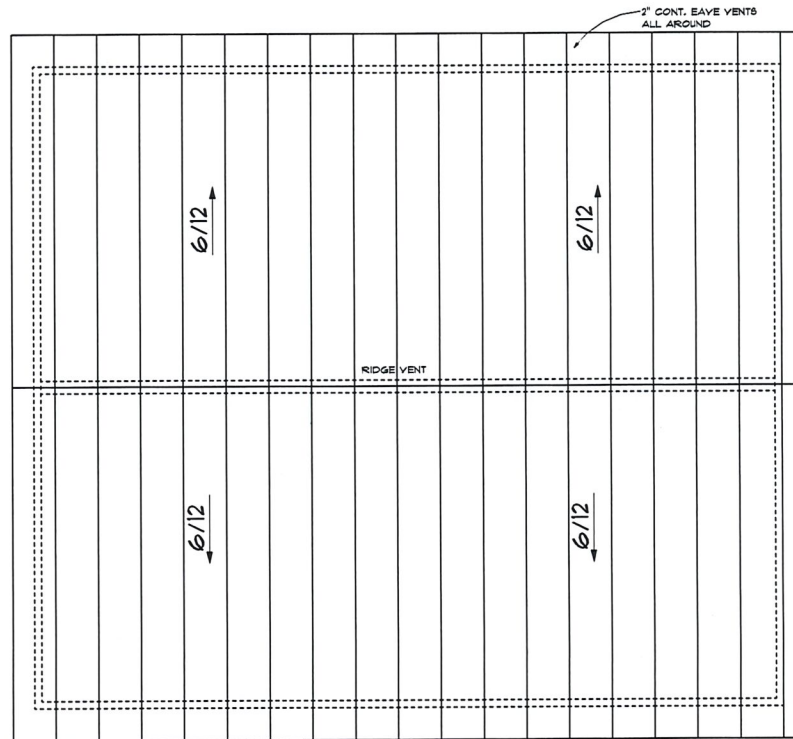
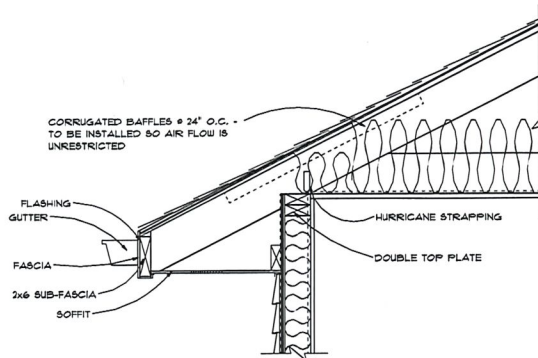
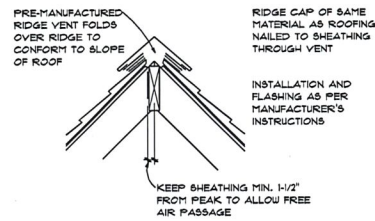
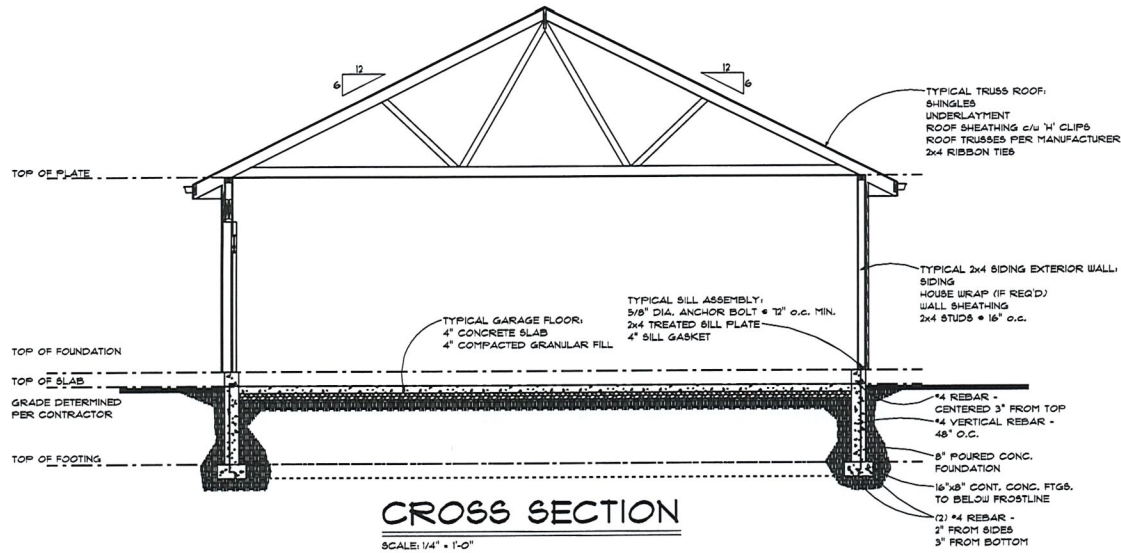
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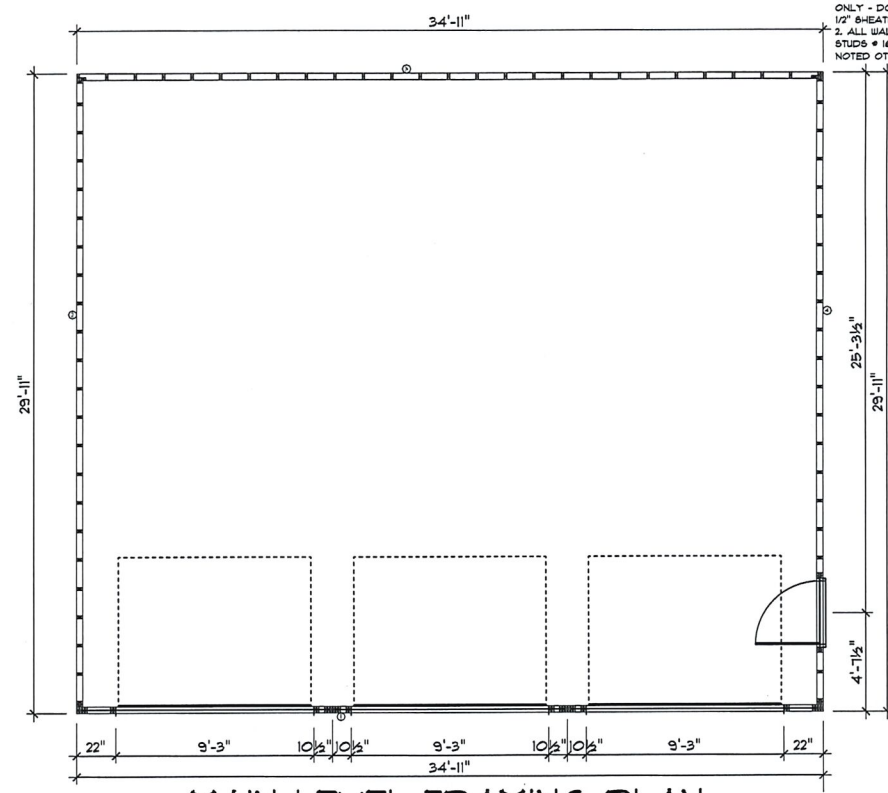
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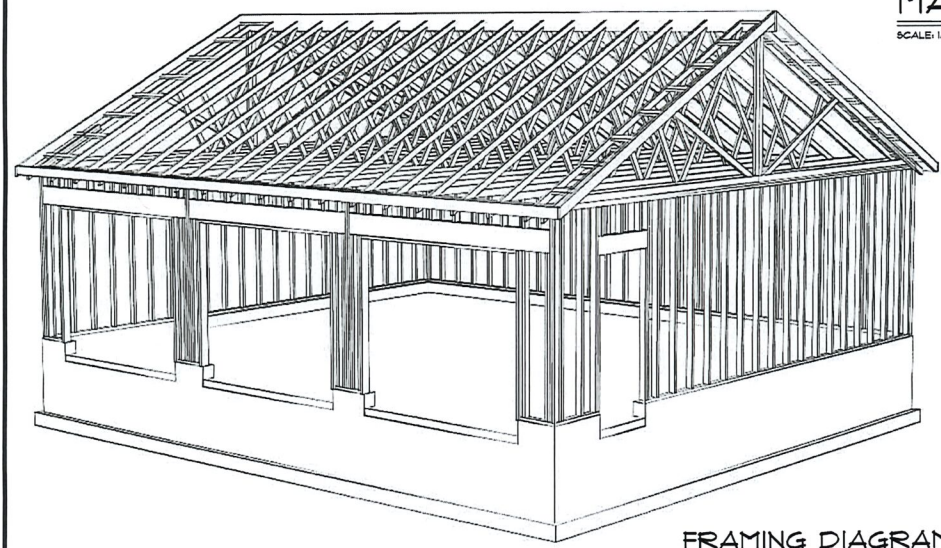
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NOTE:
1. DIMENSIONS TO FRAMING ONLY - DOES NOT INCLUDE 1/2" SHEATHING.
2. ALL WALLS ARE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.



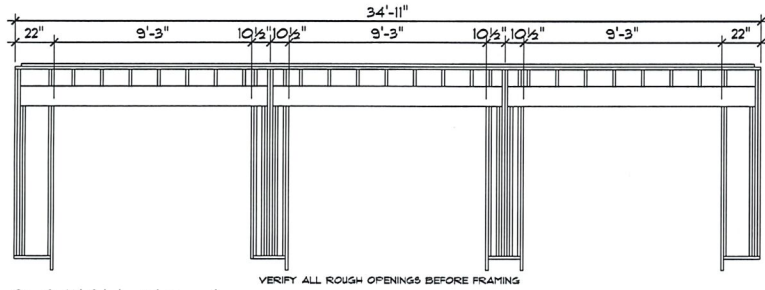
MAIN LEVEL FRAMING PLAN

SCALE: 1/4" = 1'-0"



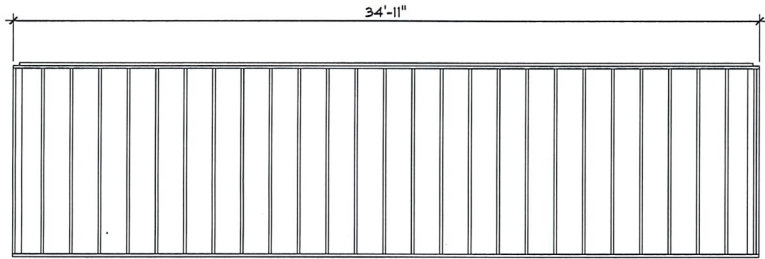
FRAMING DIAGRAM

NOT TO SCALE

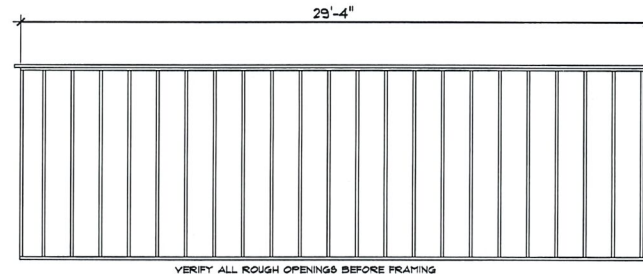


2x4 WALL NO. 1

VERIFY ALL ROUGH OPENINGS BEFORE FRAMING

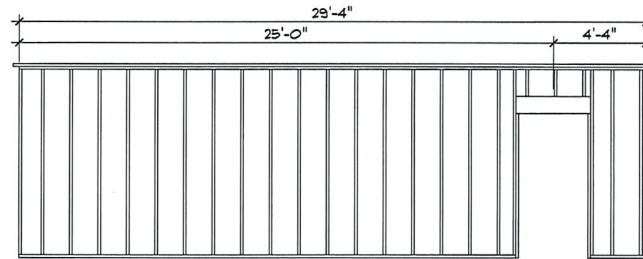


2x4 WALL NO. 3



2x4 WALL NO. 2

VERIFY ALL ROUGH OPENINGS BEFORE FRAMING



2x4 WALL NO. 4

VERIFY ALL ROUGH OPENINGS BEFORE FRAMING

WALL PANELS

SCALE: 1/4" = 1'-0"

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