



**Planning and Zoning Department  
DEVELOPMENT CLEARING PERMIT**

**Name:** MATT DeCOTIIS **Phone:** 914-456-1298


**Email:** matt@cicadateam.com

**Company:** CICADA

**Mailing Address:** 4933 Magazine St, Suite 202, New Orleans, LA 70115

**Property Address:** 21516 LA-36, Abita Springs, LA 70420

**Property Description:** NW DIVISION, ABITA SPRINGS, SECTION 36, T-6-S, R-11-E, LOTS 1-5 \* SQUARE 7\*

**Signature:** 

Estimated starting date: AUGUST 1, 2024 Estimated completion date: MARCH 1, 2025

**PLEASE INCLUDE THE FOLLOWING DOCUMENTS:**

- Copy of the deed to the property
- Required processing and inspection fees
- A plot plan, drawn to scale, which clearly identifies the following shall be required for consideration of an application for a development clearing permit:
  - Existing stands of trees on the parcel;
  - The specific location, size and species of specifically protected trees;
  - The location of trees or stands of trees proposed for preservation on the site and the intended method for marking preserved trees prior to land clearing should be identified on the application.
  - Location of critical root zones of specifically protected trees and all other trees required or proposed to be preserved.
  - Location of tree barriers to protect trees required or proposed to be protected during construction.
  - Erosion and Sediment Control Plan to control the runoff of sediment when soil will be disturbed.
  - Dimensions & locations of all existing & proposed improvements, such as buildings or structures, driveways, & paved walkways.
  - Location and dimensions of all required buffers.
  - Landscape plan

**ACKNOWLEDGEMENT STATEMENT**

**Sec. 9-707. - Requirements for issuance of residential clearing or development clearing permits.**

**(b) Development clearing permit requirements.**

- (1) A **development permit** or preliminary subdivision approval by the planning commission and notice to proceed shall be required to be issued in conjunction with the issuance of a development clearing permit for the same site, prior to the commencement of any tree clearing or removal.
- (2) There shall be no development clearing in conjunction with the development of new subdivisions or roadways, except as necessary for the installation of new roadways or other infrastructure improvements approved by the planning commission, subsequent to the recommendation of the landscape commission as provided by the urban forestry Ordinance No. 184, Section 7.C.3.



**TOWN OF ABITA SPRINGS PLANNING AND ZONING DEPARTMENT  
DEVELOPMENT CLEARING PERMIT**

**Describe the request, if necessary, include any maps or plot plans:** Please include a written description of the businesses to be located on the property. Also including a site plan for the property showing any existing or proposed buildings, driveway access, and the size and location of parking and storage areas.

NEW BUILDING ADDED TO AN EXISTING CAMPUS FOR AN ADULT RECOVERY CENTER.  
SCOPE OF WORK INCLUDES A NEW PARKING LOT, LANDSCAPING AND NEW TWO-STORY BUILDING.  
BUILDING USE TO BE CONSISTENT WITH EXISTING FACILITY.

PARKING LOT AND BUILDING LOCATIONS HAVE BEEN PLACED IN ORDER TO HAVE A MINIMAL IMPACT ON THE EXISTING TREES AND SITE LANDSCAPE AS SHOWN IN THE ATTACHED PLANS

**Scheduled Planning & Zoning Meeting Date & Time:** MARCH 30, 2024 6:00PM

**Location:** Town of Abita Springs Town Hall

-----Office Use Only-----

**DEVELOPMENT CLEARING PERMIT**

**Notes from Planning & Zoning:**

\_\_\_\_\_  
\_\_\_\_\_

**Decision:**     APPROVED         DENIED

**Motion:** \_\_\_\_\_ **Second:** \_\_\_\_\_

**Vote:** \_\_\_\_\_ **Signature:** \_\_\_\_\_

*Planning & Zoning Chairman*

**LANDSCAPE PLAN**

**Notes from Planning & Zoning:**

\_\_\_\_\_  
\_\_\_\_\_

**Decision:**     APPROVED         DENIED

**Motion:** \_\_\_\_\_ **Second:** \_\_\_\_\_

**Vote:** \_\_\_\_\_ **Signature:** \_\_\_\_\_

*Planning & Zoning Chairman*

# LONGBRANCH // ABITA SPRINGS

---

## SITE DEVELOPMENT & CLEARING PLAN

05/23/2024



OWNER  
LONGBRANCH RECOVERY AND WELLNESS  
21516 LA-36  
ABITA SPRINGS, LA 70420

ARCHITECT  
CICADA, LLC  
4933 MAGAZINE STREET, SUITE 202  
NEW ORLEANS, LA 70115

CICADA

# GENERAL NOTES

## 0. CODES:

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL CODES AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
- 2. APPLICABLE CODES:
  - A. 2021 IBC
  - B. 2015 NFPA
  - C. 2021 INTERNATIONAL MECHANICAL CODE
  - D. 2021 FUEL GAS CODE
  - E. 2021 LOUISIANA STATE PLUMBING CODE
  - F. 2020 NATIONAL ELECTRIC CODE
  - G. 2010 ADAAG/ADA
- 3. IN CASE OF CONFLICT BETWEEN THE APPLICABLE CODES AND STANDARDS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK. SHOULD THE CONTRACTOR KNOWINGLY PROCEED WITH WORK WITHOUT RESOLUTION BY THE ARCHITECT, IT WILL NOT RELIEVE THE CONTRACTOR FROM MODIFYING, REMOVING, OR REPLACING THE WORK TO CONFORM TO THE ARCHITECT'S INTERPRETATION OF THE CONTRACT DOCUMENTS.

## 1. GENERAL:

- 1. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT TO BE INCORPORATED IN THE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (AIA, AISC, ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW AND SHALL COMPLY WITH THE PROPER SPECIFICATIONS.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGES, COLLAPSE, DISTORTION, AND OFF ALIGNMENT ACCORDING TO APPLICABLE CODES AND STANDARDS
- 3. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES
- 4. AN ACCURATE AND COMPLETE FINAL SURVEY, MADE BY A LICENSED SURVEYOR, SHALL BE SUBMITTED AFTER COMPLETION OF WORK SHOWING THE LOCATION OF ANY NEW BUILDING AND / OR ANY EXTENSION TO AN EXISTING BUILDING SHOWING ELEVATION OF FIRST FLOOR, FINISHED GRADES OF OPEN SPACES, ESTABLISHED CURB LEVEL, LOCATION OF OTHER STRUCTURE ON LOT, LOCATION AND BOUNDARIES OF LOT, APPLICATION FOR CERTIFICATE OF OCCUPANCY.
- 5. DO NOT SCALE DRAWINGS FOR DIMENSIONS! CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK.
- 6. ALL MEANS OF EGRESS TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, TYP.
- 7. IN THE EVENT A CONSTRUCTION DRAWING CONTAINS AN ITEM OR ITEMS REFERENCING ANOTHER DISCIPLINE'S DRAWINGS, SUCH AS "REFER TO STRUCTURAL" OR "SEE CIVIL", THE CONTRACTOR SHALL HAVE ALLOWED FOR THE PROVISION OF THAT ITEM WHETHER SHOWN OR INDICATED IN THE OTHER DISCIPLINE OR NOT.

## 2. TYPE OF CONSTRUCTION / OCCUPANCY:

- 1. ALL NEW CONSTRUCTION SHALL BE CONSTRUCTED TO MEET OR EXCEED THE MINIMUM REQUIREMENTS FOR TYPE V-A, PROTECTED WOOD FRAME CONSTRUCTION AS DEFINED BY THE CODE. ONE PORTION OF THE BUILDING, THE SINGLE STORY WELLNESS CENTER, IS TO BE CONSTRUCTED AS V-B, WITH A 2 HR FIRE SEPARATION FROM THE MAIN BUILDING.
- 1. THE BUILDING IS OCCUPANCY 2021 IBC CLASSIFICATION: I-1, CONDITION 1 AND NFPA OCCUPANCY CLASSIFICATION: RESIDENTIAL BOARD AND CARE, LARGE.

## 3. DEMOLITION, UTILITIES & EXCAVATION:

- 1. LOCATE EXISTING UTILITY LINES INCLUDING: ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, STEAM, FIBER OPTIC, ETC. NOTE THAT THE SITE AND PUBLIC PROPERTY CONTAINS UNDERGROUND UTILITY LINES. THE DRAWINGS SHOW DIAGRAMMATICALLY THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE. BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT, OR LOCATION. VERIFY IN FIELD PRIOR TO CONSTRUCTION OR DEMOLITION.
- 2. EXERCISE CAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES. RECORD LOCATION OF DISCONNECT AND CAP AS NECESSARY, AND REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT.
- 3. THE PROJECT REQUIRES DEMOLITION OF SOME AREAS OF EXISTING CONSTRUCTION. EXERCISE CAUTION TO PROTECT ALL AREAS OF EXISTING CONSTRUCTION THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION. REPAIR ANY AND ALL AREAS THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION THAT ARE DAMAGED DURING THE DEMOLITION PROCESS.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS, AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, DISTRICT, STATE, AND LOCAL REQUIREMENTS AND ORDINANCES.

## 4. COORDINATION:

- 1. LOCATION OF ALL EXISTING CONSTRUCTION SHOWN IN THE DRAWINGS AND THREE-DIMENSIONAL FILES IS APPROXIMATE BASED ON EXISTING SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE START OF WORK.
- 2. SHOULD THE SPECIFICATIONS HAVE NO SPECIFIC PROVISIONS OR DESCRIPTIONS ON PARTICULAR MATERIALS OR KIND OF GOODS TO BE USED IN ANY PLACE, THEN IT SHALL BE THE DUTY OF THE CONTRACTOR TO SUBMIT A REQUEST FOR INTERPRETATION. THE CONTRACTOR SHALL BE DEEMED TO HAVE INCLUDED THE HIGHEST QUALITY OF MATERIAL AND MEANS OF COMPLETING THE WORK IN THE CONTRACT.
- 3. STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, LIGHTING, SECURITY, FIRE PROTECTION, LANDSCAPE, SIGNAGE & OTHER DRAWINGS AND MODELS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS AND MODELS, BUT TOGETHER WITH THE ARCHITECTURAL DRAWINGS AND MODELS FORM RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, LIGHTING, SECURITY, PLUMBING, FIRE PROTECTION AND LANDSCAPE WORK. SHOULD THERE BE A DISCREPANCY DISCOVERED BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTANT DISCIPLINE'S DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. CONTRACTOR SHALL NOT, EITHER KNOWINGLY OR IF HE SHOULD HAVE KNOWN BASED ON INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS, INSTALL WORK IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS. ANY SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THIS PROJECT.
- 4. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR WITH THEMSELVES, THE ARCHITECT WILL DETERMINE WHICH CONFLICTING REQUIREMENT GOVERNS. CONTRACTOR SHALL VERIFY THE DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AND CONSTRUCTION AT THE SITE, AND SHALL REPORT TO THE ARCHITECT, IN WRITING, DISCREPANCIES BETWEEN ACTUAL EXISTING CONDITIONS AND THE DRAWINGS AND COMPUTER DATABASE FOR THE ARCHITECT'S DECISION AND INSTRUCTIONS BEFORE PROCEEDING WITH WORK AFFECTED BY SUCH DISCREPANCIES. IF ANY DISCREPANCY OR CONFLICT OCCURS BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR ERRORS EXIST IN ANY OF THE DRAWINGS, COMPUTER DATABASE, OR SPECIFICATIONS, THE SITUATION SHALL BE REPORTED TO THE ARCHITECT IN WRITING AND THE ARCHITECT WILL ISSUE A CLARIFICATION.
- 5. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE MEA, BSA, OR U.L. LABELS.
- 6. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THESE PRODUCTS.
- 7. VALVES, CONTROLS, AND TERMINATIONS SHALL BE POSITIONED FOR SAFE, DIRECT, AND EASY ACCESS. PIPING AND OUTWORK SHALL BE INSTALLED FOR CONVENIENT FUTURE ADDITIONS AND MODIFICATIONS.
- 8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING OR MISCELLANEOUS EQUIPMENT.
- 9. CONTRACTOR'S MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT OR IMPAIR FLOOR-TO-FLOOR FIRE SEPARATION WHILE THE BUILDING IS OCCUPIED.
- 10. CONTRACTOR SHALL VERIFY ALL CONCRETE AND EXISTING OPENINGS IN THE FIELD PRIOR TO THE FABRICATION OF DOORS AND FRAMES.
- 11. CONTRACTOR TO COORDINATE THE EXACT DIMENSIONS, SIZES, AND POSITIONS OF OPENINGS IN SLABS AND WALLS AND COORDINATE PLUMBING AND MECHANICAL DRAWINGS FOR STRUCTURAL BEAMS TO BE SLEEVED PRIOR TO COMMENCING STRUCTURAL WORK.
- 12. SPECIFIC NOTES OR KEYNOTES ON DRAWINGS APPLY TO SIMILAR CONDITIONS ON OTHER DETAILS ON ALL DRAWINGS UNLESS NOTED OTHERWISE.
- 13. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING THE WORK. MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS, GEOMETRY, OR CONDITIONS AND SHALL BE MADE PART OF THE WORK AT NO ADDITIONAL COST TO THIS PROJECT.
- 14. DRAWINGS/DETAILS IDENTIFY THE GENERAL MATERIALS TO BE USED IN THE CONSTRUCTION. SEE SPECIFICATION FOR SPECIFIC MATERIAL TYPES AND LOCATIONS TO BE USED.

## 5. CEILING SYSTEMS:

- 1. COORDINATE THE PLACEMENT OF CEILING ELEMENTS WITH TRADES. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION REQUIREMENTS, REVIEW THE CONDITIONS WITH THE ARCHITECT PRIOR TO PROCEEDING. ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THIS PROJECT.
- 2. ALIGN CEILING DEVICES (SPEAKERS, SPRINKLERS, GRILLES, REGISTERS, ETC.) WITH THE CENTERLINE OF LIGHTING FIXTURES, UNLESS NOTED OTHERWISE. FINAL LOCATION TO BE APPROVED BY THE ARCHITECT.

## 6. ACCESS PANELS:

- 1. PROVIDE ACCESS PANELS AT WALL AND CEILING LOCATIONS FOR ELECTRICAL, PLUMBING, AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, COUNTER FIRE SHUTTERS, OR OTHER DEVICES AS REQUIRED BY THE WORK AND MAINTENANCE, AND APPLICABLE EVEN IF ACCESS PANELS ARE NOT SHOWN ON CONTRACT DOCUMENTS. ACCESS PANELS THAT ARE SHOWN ON THE DRAWINGS SHALL BE INSTALLED IN LOCATIONS AS SHOWN AND DIMENSIONED, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION INDICATING THE LOCATIONS OF ALL ACCESS PANELS.

## 7. FIRE PROTECTION:

- 1. THE BUILDING IS/ISN'T A FULLY SPRINKLED STRUCTURE
- 2. CONSULT THE FIRE AUTHORITY HAVING JURISDICTION REGARDING ACCESS ROADS, GATES IN PERIMETER FENCES, AND LOCATION OF FIRE HYDRANTS, FIRE DEPARTMENT PUMPER CONNECTIONS, PORTABLE FIRE EXTINGUISHERS, AND FIRE PROTECTION DURING CONSTRUCTION. FIRE REQUIRED ACCESS AND EQUIPMENT.
- 3. OBTAIN PERMITS FOR A COMPLETE FIRE PROTECTION SYSTEM REQUIRED BY LOCAL AUTHORITIES AND FIRE DEPARTMENTS.
- 4. FIRE RATED CONSTRUCTION INCLUDING WALLS, FLOORS, ROOFS, SHAFTS, COLUMNS, ETC. SHALL CONFORM IN EVERY PARTICULAR WITH LOCAL AGENCIES' CUSTOM DESIGNS WHICH COMBINE COMPONENTS FROM DIFFERENT APPROVED DESIGNS, BUT HAVE NOT BEEN TESTED AS A COMPLETE ASSEMBLY WILL NOT BE ACCEPTABLE WITHOUT WRITTEN APPROVAL FROM THE LOUISIANA STATE FIRE MARSHALL.
- 5. FIRE AND SMOKE DAMPERS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF LASFM, AND PROJECT SPECIFICATIONS. CONSULT SPECIFICATION FOR SPECIFIC TYPES OF FIRE DAMPERS TO BE USED IN SPECIFIC LOCATIONS.
- 6. FIRE EXTINGUISHERS: WHETHER SHOWN OR NOT, PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT THE BUILDING IN ACCORDANCE WITH IBC 2015

## 8. EXITS:

- 1. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 2. EXIT DOORS AND DOORS PROVIDING ACCESS TO EXITS SHALL BE SELF CLOSING DOORS
- 3. PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS
- 4. WHERE REQUIRED, LOCATION OF EVERY EXIT ON EVERY FLOOR SHALL BE CLEARLY INDICATED BY EXIT SIGNS, PLACED, IF REQUIRED, AT AN ANGLE WITH THE EXIT OPENING. INSTALL DIRECTIONAL SIGNS TO SERVED AS WAY FINDING FROM ALL PORTIONS OF THE CORRIDOR OR FLOOR
- 5. EGRESS ILLUMINATION AND POWER SOURCE FOR ILLUMINATION SHALL BE PROVIDED AS REQUIRED PER CODE.
- 6. DOOR JAMBS OR STOPS AND THE DOOR THICKNESS WHEN OPEN, SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN HALF OF THE HALLWAY.
- 7. THE MINIMUM NOMINAL WIDTH OF CORRIDOR AND EXIT DOOR OPENINGS SHALL BE THIRTY-SIX INCHES, EXCEPT THAT WHERE A DOOR OPENING IS DIVIDED BY MULLIONS, THE MINIMUM NOMINAL WIDTH OF EACH SUCH OPENING SHALL BE THIRTY-TWO INCHES.

# ABBREVIATIONS

AC:	AIR CONDITIONING	MECH:	MECHANICAL
ACI:	AMERICAN CONCRETE INSTITUTE	MED:	MEDIUM
ACT:	ACOUSTICAL TILE	MET:	METAL
AD:	AREA DRAIN	MFR:	MANUFACTURER
ADAAG:	AMERICANS WITH DISABILITIES ACT ARCHITECTURAL GUIDELINES	MF:	MANHOLE
ADJ:	ADJUST, ADJUSTABLE, ADJACENT	MIN:	MINIMUM
AF:	ABOVE FINISHED FLOOR	MIR:	MIRROR
ALUM:	ALUMINUM	MISC:	MISCELLANEOUS
APPROX:	APPROXIMATE	MLDG:	MOLDING
APT:	APARTMENT	MO:	MASONRY OPENING
ARCH:	ARCHITECTURAL	MULL:	MULLION
BD:	BOARD	NEC:	NATIONAL ELECTRICAL CODE
BLDG:	BUILDING	NEUT:	NEUTRAL
BLK:	BLOCK	NIC:	NOT IN CONTRACT
BLKG:	BLOCKING	NRC:	NOISE REDUCTION COEFFICIENT
BR:	BEDROOM	NTS:	NOT TO SCALE
BSMT:	BASEMENT	OC:	ON CENTER
BTU:	BRITISH THERMAL UNITS	OD:	OUTSIDE DIAMETER
CAB:	CABINET	OFF:	OFFICE
BD:	CATCH BASIN	OH:	OPPOSITE HAND
CPT:	CARPET	OPP:	OPPOSITE
CF:	CONTRACTOR FURNISHED	P:	PAINT
CF:	CONTRACTOR FURNISHED OWNER INSTALLED	P. LAM:	PLASTIC LAMINATE
CL:	CENTERLINE	PCF:	POUNDS PER CUBIC FOOT
CLG:	CEILING	POPL:	PORTLAND CEMENT PLASTER
CMU:	CONCRETE MASONRY UNIT	PERF:	PERFORATE
CONC:	CONCRETE	PKG:	PARKING
CONTR:	CONTRACTOR	PLBG:	PLUMBING
CORR:	CORRIDOR	PLYWD:	PLYWOOD
CPT:	CARPET	PLUMB:	PLUMBING
CSMT:	CASEMENT	PREFAB:	PREFABRICATED
CT:	CERAMIC TILE	PSF:	POUNDS PER SQUARE FOOT
DBL:	DOUBLE	PSI:	POUNDS PER SQUARE INCH
DEPT:	DEPARTMENT	PSIG:	POUNDS PER SQUARE INCH GAGE
DET:	DETAIL	PT:	PAINT, POINT, PART, POTENTIAL TRANSFORMER
DF:	DRAWING FOUNTAIN	PTC:	POST-TENSIONED CONCRETE
DIA:	DIAMETER	PTD:	PAINTED PAPER TOWEL DISPENSER
DIAM:	DIAMETER	PWD:	PLYWOOD
DIFF:	DIFFUSER	QUAL:	QUALITY
DN:	DOWN	QUANT:	QUANTITY
DR:	DOOR	QT:	QUARRY TILE, QUART
DS:	DOWNSPOUT	QTR:	QUARTER
DSP:	DRY STANDPIPE	QTY:	QUANTITY
DWG:	DRAWING	RAD:	RADIUS, RADIATOR
EA:	EACH	RB:	RUBBER, RUBBER BASE, RESILIENT BASE
EJ:	EXPOSED CONSTRUCTION	RD:	ROOF DRAIN, ROUND, RECEPTACLE DISTRIBUTION PANEL
EC:	EXPANSION JOINT	REF:	REFERENCE
EL:	ELEVATION	REINFC:	REINFORCEMENT, OR REINFORCE
ELEV:	ELEVATOR	RESIL:	RESILIENT
EXH:	EXHAUST	RM:	ROOM
EXP:	EXPANSION, EXPOSED	RO:	ROUGH OPENING
EXT:	EXTERIOR, EXTINGUISHER	RT:	RUBBER TILE, RIGHT
FA:	FIRE ALARM, FRESH AIR	RWD:	REDWOOD
FD:	FLOOR DRAIN	S:	SOUTH
FDC:	FIRE DEPARTMENT CONNECTION	SC:	SOLID CORE
FE:	FIRE EXTINGUISHER	S. CONC:	SEALED CONCRETE
FE:	FIRE EXTINGUISHER CABINET	SCHED:	SCHEDULE
FFE:	FINISHED FLOOR ELEVATION	SOW:	SOLID CORE WOOD
FF&E:	FIXTURES, FURNISHINGS & EQUIPMENT	SD:	SOLID CORE
FIXT:	FIXTURE	SECT:	SECTION
FL:	FLOOR, FIRE LINE	SF:	SQUARE FOOT
FLASH:	FLASHING	SGG:	STRUCTURAL GLAZING GASKET
FLG:	FLOORING	SHNG:	SHEATHING
FLEX:	FLEXIBLE	SHWR:	SHOWER
FLG:	FLANGE, FLASHING, FLOORING	SIG:	SIGNAL
FLOOR:	FLOOR	SIM:	SIMILAR
FLUOR:	FLUORESCENT	SKL:	SKYLIGHT
FO:	FINISHED OPENING	SPEC:	SPECIFICATION
FOC:	FACE OF CONCRETE	SPK:	SPEAKER
FOF:	FACE OF FINISH	SPR:	SPRINKLER
FOS:	FACE OF STUDS	STC:	SOUND TRANSMISSION CLASS
FP:	FIREPROOF	STD:	STANDARD
FRM:	FRAME	STOR:	STORAGE
FRFP:	FIREPROOF	STRUC:	STRUCTURAL
FT:	FOOT	SUPP:	SUPPLEMENTARY
FURN:	FURNITURE	SW:	SWITCH
GA:	GAUGE, GAGE	SY:	SQUARE YARD
GALV:	GALVANIZED	SYM:	SYMMETRICAL
GC:	GENERAL CONTRACTOR	T&B:	TOP AND BOTTOM
GF:	GROUND FACE	T&G:	TONGUE & GROOVE
GF:	GROUND FAULT INTERRUPTED	TEL:	TELEPHONE
GRG:	GRASS REINFORCED CONCRETE	TEMP:	TEMPORARY
GL BLK:	GLASS BLOCK	THK:	THICK
GYP BD:	GYPSPUM BOARD	THR:	THRESHOLD
H:	HIGH	TO:	TOP OF
HB:	HOSE BIB	TOC:	TOP OF CONCRETE
HC:	HANDICAPPED	TOP:	TOP OF PARAPET
HDR:	HEADER	TOS:	TOPE OF STEEL
HDWD:	HARDWOOD	TOW:	TOP OF WALL
HDWE:	HARDWARE	TP:	TOP OF PAVEMENT
HEX:	HEXAGONAL	TRMSMT:	THERMOSTAT
HGR:	HANGER	THRU:	THROUGH
HGT:	HEIGHT	TKBD:	TACKBOARD
HM:	HOLLOW METAL	TOL:	TOLERANCE
HORIZ:	HORIZONTAL	TV:	TELEVISION
HTG:	HEATING	TYP:	TYPICAL
HTR:	HEATER	TZ:	TERRAZZO
HVAC:	HEATING, VENTILATING & AIR CONDITIONING	UL:	UNDERWRITERS' LABORATORIES
HWH:	HOT WATER HEATER	UNF:	UNFINISHED
HWS:	HOT WATER SUPPLY	UNO:	UNLESS NOTED OTHERWISE
ID:	INSIDE DIAMETER	UNN:	UNLESS OTHERWISE NOTED
IE:	INVERT ELEVATION	UT:	UTILITY
IN:	INCH	VCT:	VINYL COMPOSITION TILE
INSUL:	INSULATION	VENT:	VENTILATE
INTM:	INTERMEDIATE	VEST:	VESTIBULE
INV:	INVERT	VF:	VINYL FABRIC
JAN:	JANITOR	VFGT:	VINYL FEMM GLAZING TAPE
JT:	JOINT	VIF:	VERIFY IN THE FIELD
KIP:	1000 POUNDS	VT:	VINYL TILE
L:	LENGTH	VTR:	VENT THROUGH ROOF
LAB:	LABORATORY, LABOR	W/:	WITH
LAM:	LAMINATE, LAMINATED	W/O:	WITHOUT
LAV:	LAVATORY	WB:	WOOD BASE
LAB:	LABORATORY	WC:	WATERCLOSET
LF:	LINEAR FOOT	WD:	WOOD
LL:	LIVE LOAD	WDW:	WINDOW
LNDD:	LANDING	WH:	WATER HEATER
LNLT:	LINTEL	WP:	WATERPROOF
LTG:	LIGHTING	WT:	WEIGHT
LVR:	LOUVER		
LWC:	LIGHT WEIGHT CONCRETE		

# CICADA SYMBOL LEGEND

- CALLOUT HEAD
- AREA TAG
- DOOR TAG
- ELEVATION MARKER
- GRID MARKER
- LEVEL HEAD
- NORTH ARROW
- ELEVATION
- STAIR ANNOTATION

PROJECT NO:	123027
PHASE:	PERMITTING
ISSUED FOR:	
DATE:	05/23/2024

INDEX TO SHEETS

SHEET NO.	TITLE
C0.0	TITLE SHEET
C0.1	SURVEY
C1.0	SITE PLAN
C2.0	UTILITY PLAN
C2.1	UTILITY PLAN (TIE-IN PLAN)
C3.0	STORMWATER MANAGEMENT PLAN
C4.0	LANDSCAPE PLAN
C5.0	GRADING PLAN
C6.0	CIVIL DETAILS
C7.0	STORMWATER POLLUTION PREVENTION PLAN
C7.1	STORMWATER POLLUTION PREVENTION DETAILS
11	TOTAL

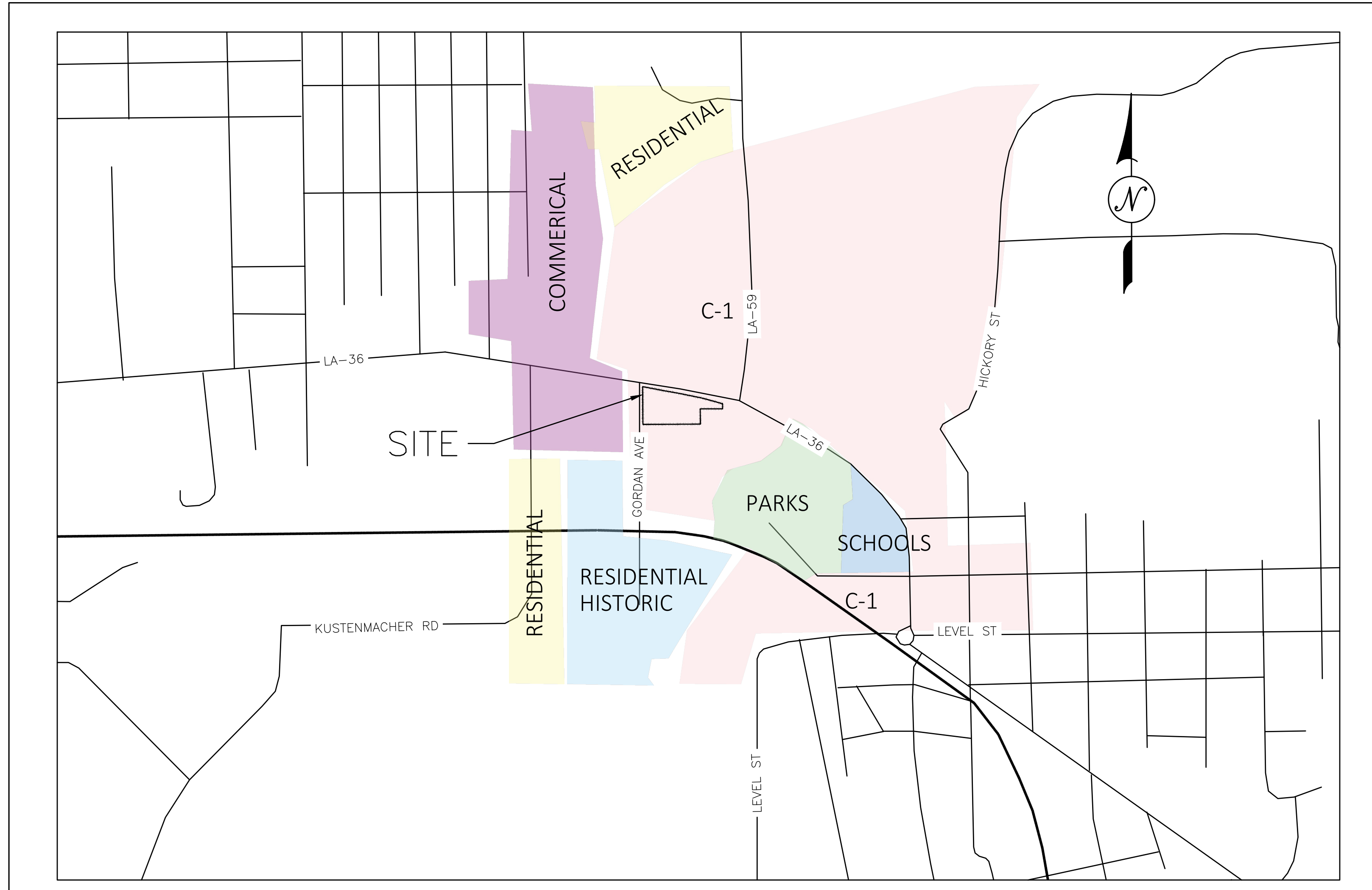
# LONGBRANCH ABITA

21516 LA-36  
ABITA SPRINGS, LOUISIANA

LONGBRANCH ABITA



VICINITY MAP  
NTS



AREA MAP  
1:500

**MARAIS**  
CONSULTANTS, LLC  
2018 JENA STREET  
NEW ORLEANS, LA 70115  
504.350.2644  
maraisconsultants.com  
PROFESSIONAL OF RECORD:  
jeny@maraisconsultants.com

REV. NO.	DATE	DESCRIPTION

LONGBRANCH ABITA  
21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MAY 23, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

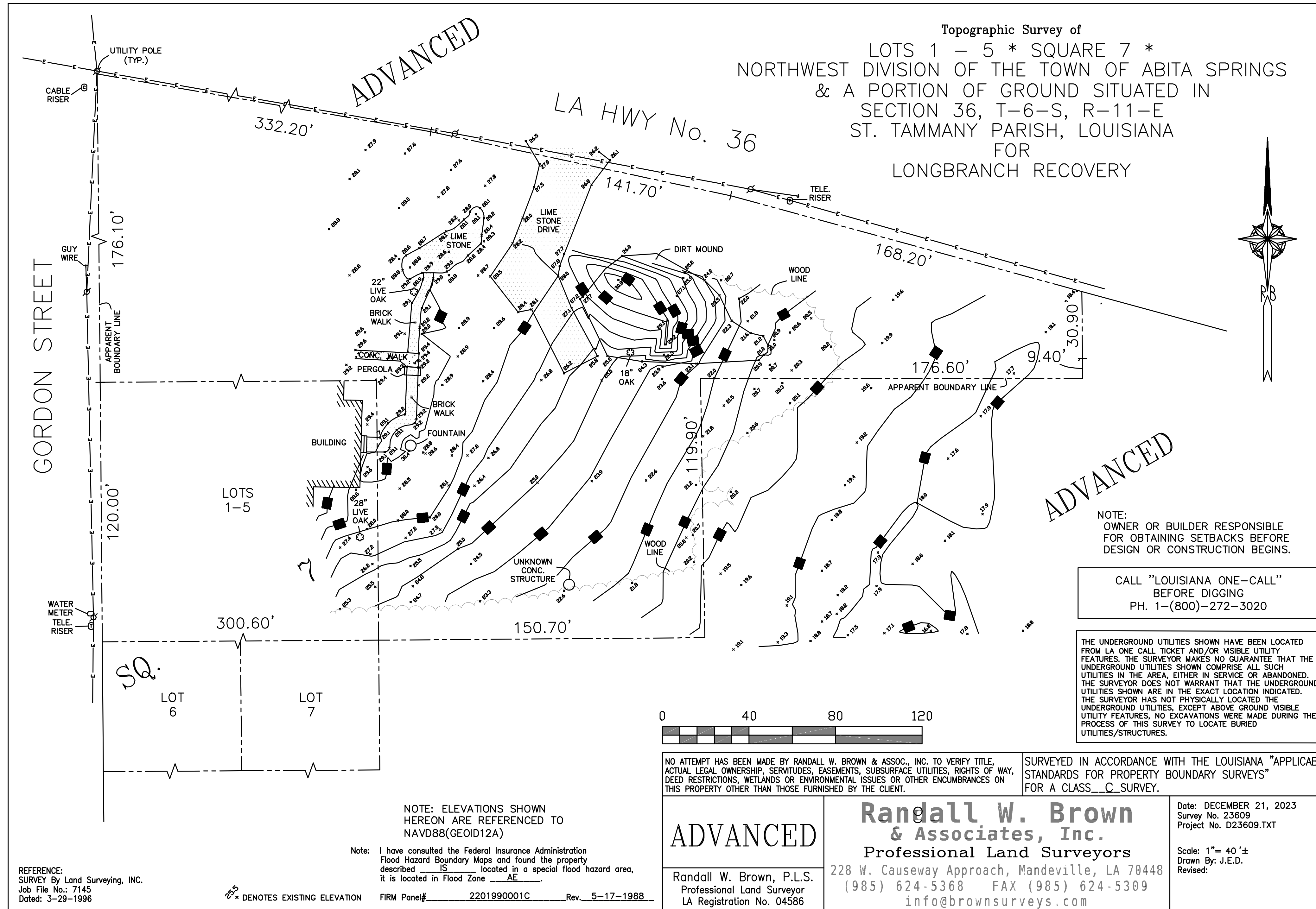
**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED  
FOR CONSTRUCTION, RECORDING,  
RECORDATION CONVEYANCE, SALES  
OR AS THE BASIS FOR THE ISSUANCE  
OF A PERMIT

COVER SHEET

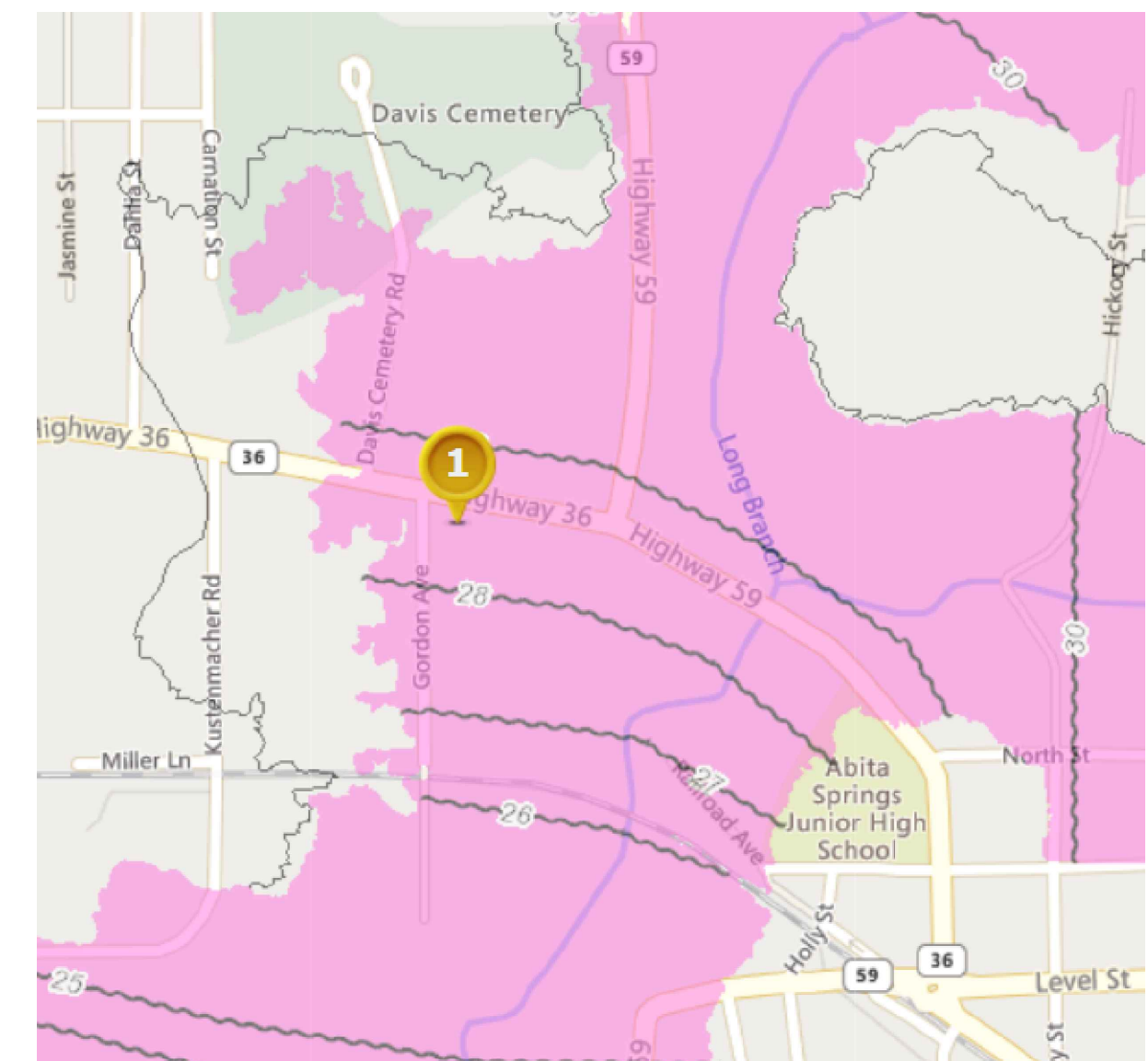
SHEET:  
**C0.0**

# EXISTING CONDITIONS AND SURVEY BY OTHERS

**MARAIS**  
 CONSULTANTS, LLC  
 2018 JENA STREET  
 NEW ORLEANS, LA 70115  
 504.350.2644  
 maraisconsultants.com  
 PROFESSIONAL OF RECORD:  
 jenny@maraisconsultants.com



**ENTIRE SITE IS LOCATED IN A AE FLOOD ZONE**



**Pt. 1 (30.4823, -90.0425)**

Community: Abita Springs

Preliminary FIRM (Issued: 04/30/2008)  
 Flood Zone: AE  
 FIRM Panel ID: 22103C0306F  
 Preliminary FIRM Panel Date: 04/30/2008  
 Effective FIRM (Effective: Varies)  
 Flood Zone: AREA NOT INCLUDED  
 FIRM Panel ID: Not Avail  
 FIRM Panel Date: Varies  
 Ground Elevation<sup>1</sup>: 27.5 ft

Community Info What Does This Mean?

FLOOD ZONE DATA FROM LSU AG FLOOD MAPS  
<http://maps.lsuagcenter.com/floodmaps/>

**LONGBRANCH ABITA**  
 21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
 CHECKED BY: JMS  
 DATE: MAY 23, 2024  
 ISSUE: PLANNING + ZONING  
 DRAWING SIZE: 24"x36"

**PRELIMINARY**  
 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, RECORDING, RECORDATION CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

SURVEY

SHEET:  
**C0.1**

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A  
B  
C  
D  
E  
F  
G  
H  
J  
K  
L



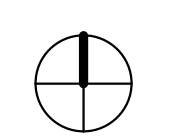
### SITE PLAN LEGEND

PROPERTY LINE	
EXISTING TREES	
EXISTING VEHICULAR AND PEDESTRIAN CIRCULATION	
CRUSHED GRAVEL	
BRICK PATHWAY	
CONCRETE	
POOL OR WATER FEATURE	

### SITE PLAN KEYNOTES

1	EXISTING PARKING AREA
2	EXISTING PARKING ACCESS DRIVE
3	EXISTING PLANTING BED
4	EXISTING TRASH STORAGE
5	NEW PLANTING BED
6	NEW COMPACTED GRAVEL PARKING LOT
7	EXISTING UTILITY POLE DIAGONAL SUPPORT
8	BRICK PAVERS (TO MATCH EXISTING)
9	UNKNOWN CONCRETE STRUCTURE
10	PAVED CONCRETE AT ADA PARKING SPACES
11	BIKE RACK
12	MECHANICAL PLATFORM
13	EXISTING UTILITY POLE
14	PAVED CONCRETE WALKWAY

L2 // PROPOSED SITE PLAN  
1" = 30'-0"



LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO: 123027  
PHASE: PERMITTING  
ISSUED FOR:  
DATE: 05/23/2024

PROPOSED SITE PLAN





### TREE PLAN LEGEND

PROPERTY LINE	---	---
CRITICAL ROOT ZONE	---	---
TREE BARRIER	---	---
EXISTING TREE TO REMAIN	●	TREE NAME & SIZE
EXISTING TREE TO BE DEMOLISHED	●	TREE NAME & SIZE
TREE LABEL	---	TREE NAME & SIZE
TREE LABEL, PROTECTED SPECIES	---	TREE NAME & SIZE

- ### TREE PLAN NOTES:
- TREES INDICATED IN PLAN THAT ARE TO BE PRESERVED DURING CONSTRUCTION ARE TO BE MARKED CLEARLY WITH GREEN FLAGGING TAPE.
  - TREES TO BE DEMOLISHED ARE TO BE MARKED WITH RED FLAGGING TAPE.

**K1 // TREE REMOVAL AND PROTECTION PLAN**  
1/16" = 1'-0"



**LONGBRANCH ABITA**

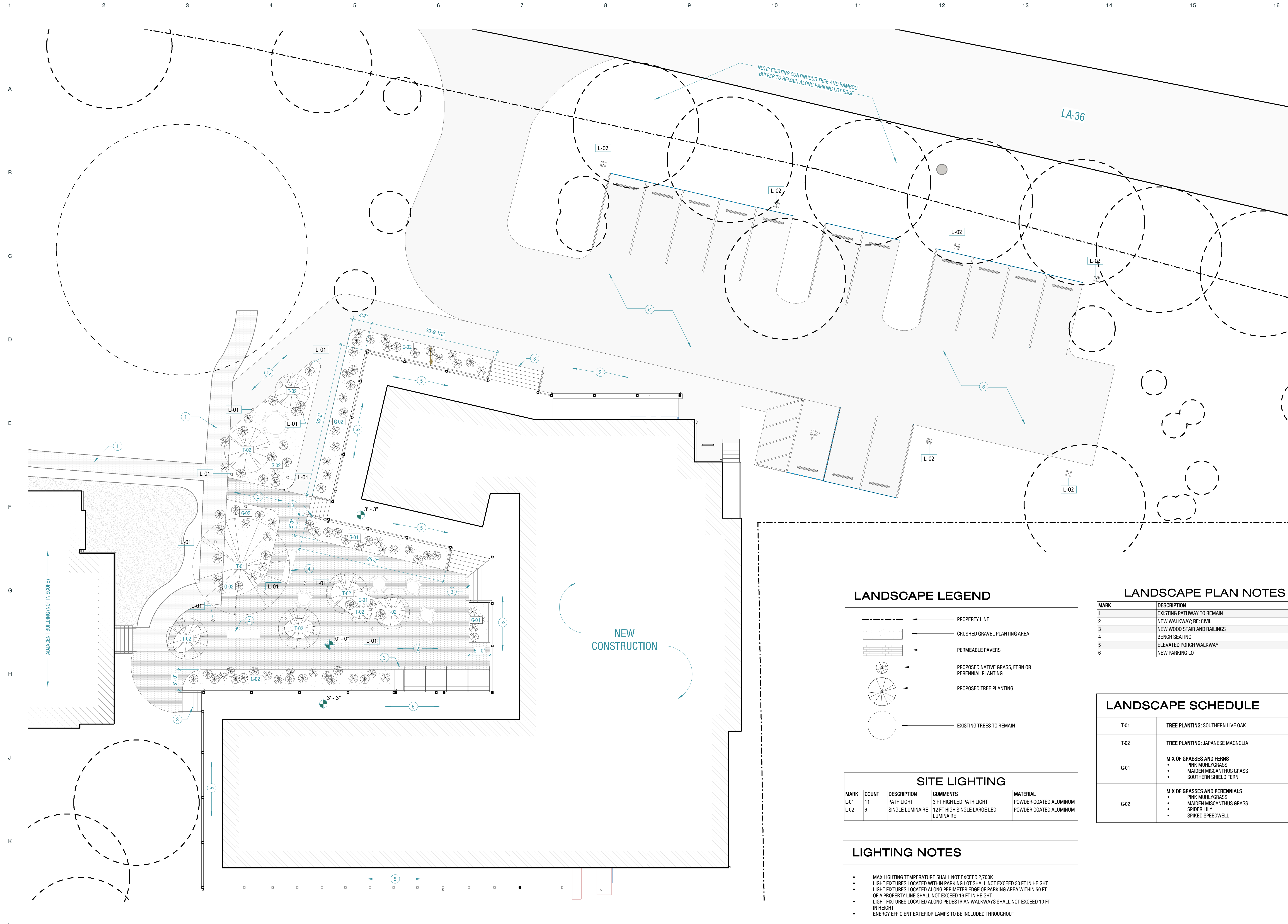
**EMILY MEYERS**  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO:	123027
PHASE:	PERMITTING
ISSUED FOR:	
DATE:	05/23/2024

TREE REMOVAL & PROTECTION PLAN

**AO.02**

**CICADA**



### LANDSCAPE LEGEND

	PROPERTY LINE
	CRUSHED GRAVEL PLANTING AREA
	PERMEABLE PAVERS
	PROPOSED NATIVE GRASS, FERN OR PERENNIAL PLANTING
	PROPOSED TREE PLANTING
	EXISTING TREES TO REMAIN

### LANDSCAPE PLAN NOTES

MARK	DESCRIPTION
1	EXISTING PATHWAY TO REMAIN
2	NEW WALKWAY, RE. CIVIL
3	NEW WOOD STAIR AND RAILINGS
4	BENCH SEATING
5	ELEVATED PORCH WALKWAY
6	NEW PARKING LOT

### SITE LIGHTING

MARK	COUNT	DESCRIPTION	COMMENTS	MATERIAL
L-01	11	PATH LIGHT	3 FT HIGH LED PATH LIGHT	POWDER-COATED ALUMINUM
L-02	6	SINGLE LUMINAIRE	12 FT HIGH SINGLE LARGE LED LUMINAIRE	POWDER-COATED ALUMINUM

### LANDSCAPE SCHEDULE

T-01	TREE PLANTING: SOUTHERN LIVE OAK
T-02	TREE PLANTING: JAPANESE MAGNOLIA
G-01	MIX OF GRASSES AND FERNS • PINK MUHLYGRASS • MAIDEN MISCANTHUS GRASS • SOUTHERN SHIELD FERN
G-02	MIX OF GRASSES AND PERENNIALS • PINK MUHLYGRASS • MAIDEN MISCANTHUS GRASS • SPIDER LILY • SPIKED SPEEDWELL

### LIGHTING NOTES

- MAX LIGHTING TEMPERATURE SHALL NOT EXCEED 2,700K
- LIGHT FIXTURES LOCATED WITHIN PARKING LOT SHALL NOT EXCEED 30 FT IN HEIGHT
- LIGHT FIXTURES LOCATED ALONG PERIMETER EDGE OF PARKING AREA WITHIN 50 FT OF A PROPERTY LINE SHALL NOT EXCEED 16 FT IN HEIGHT
- LIGHT FIXTURES LOCATED ALONG PEDESTRIAN WALKWAYS SHALL NOT EXCEED 10 FT IN HEIGHT
- ENERGY EFFICIENT EXTERIOR LAMPS TO BE INCLUDED THROUGHOUT

L1 // LANDSCAPE & LIGHTING PLAN  
 1" = 10'-0"

LONGBRANCH ABITA

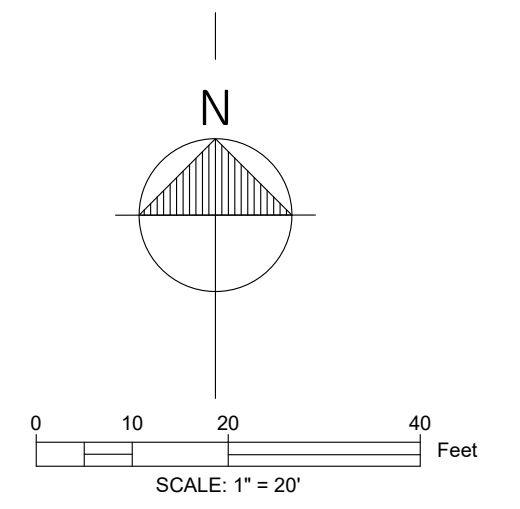
EMILY MEYERS  
 21516 LA-36, Abita Springs, LA 70420

PROJECT NO: 123027  
 PHASE: PERMITTING  
 ISSUED FOR:  
 DATE: 05/23/2024

LANDSCAPE LIGHTING PLAN

AO.03

CICADA



**SITE PLAN LEGEND**

- |   |   |
|---|---|
| 1 STEEL EDGING ALONG PARKING LOT EDGE TO CONFINE GRAVEL                                   | 13 PERVIOUS PAVERS ADJACENT TO EXISTING SIDEWALK.                                   |
| 2 NEW BICYCLE PARKING. SEE ARCH FOR BICYCLE RACK DETAILS                                  | 14 INSTALL TREE PROTECTION FENCING AROUND EXISTING TREES. REF. LANDSCAPE PLAN C3.0. |
| 3 HANDICAP PARKING STALL AND AISLE TO BE "X" VEHICULAR CONCRETE, SEE DETAIL 7, SHEET C6.0 | 15 TRENCH FOR NEW UTILITY LINE. REMOVE AND REPLACE ASPHALT TO MATCH EXISTING        |
| 4 PARKING LOT TO BE GRAVEL TO MATCH EXISTING PARKING LOT. SEE DETAIL 8, SHEET C6.0        | 16 NEW WOODEN STAIRS. REF ARCH AND STRUCTURAL                                       |
| 5 STRIPING FOR PARKING STALLS   | 17 12" RETAINING WALL ALONG PERIMETER OF PARKING LOT. SEE DETAIL 9, SHEET C6.0.     |
| 6 WHEEL STOPS PER ARCH  | 18 MECHANICAL PLATFORM, REF MEP.  |
| 7 HANDICAP STRIPING AND SYMBOL. SEE DETAIL 5, SHEET C6.0.                                 | 19 STEEL EDGE ALONG EDGE OF PLANTING AREAS  |
| 8 BOLLARD SIGNS FOR HANDICAP PARKING STALLS. SEE DETAIL 6, SHEET C6.0                     | 20 4" CONCRETE SIDEWALK. SEE DETAIL 1, SHEET C6.0                                   |
| 9 CONCRETE D/W PER LADOTD STANDARDS.  |   |
| 10 CONCRETE RAMP W/ HANDRAIL. REF ARCH AND STRUCTURAL                                     |   |
| 11 PLANTING AREAS. REF LANDSCAPE PLAN ON C3.0   |   |
| 12 PAVERS OVER CONCRETE PAVING. SEE DETAIL 7 SHEET C6.0                                   |   |

**SITE PLAN NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
- ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.
- REFER TO BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAYOUT PROPERTY LINE.
- BRING UP GRADE UNDER ALL PAVEMENT WITH STRUCTURAL FILL COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
- ALL CURB RADII SHALL BE 3 FEET UNLESS OTHERWISE NOTED ON THIS PLAN.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.

**SURVEY BY OTHERS**

- Site elements and property boundary per survey titled "Topographic Survey of a LOTS 1-5 \*SQUARE 7\* NORTHWEST DIVISION OF THE TOWN OF ABITA SPRINGS & A PORTION OF GROUND SITUATED IN SECTION 36, T-6-S, R-11-E ST. TAMMANY PARISH, LOUISIANA FOR LONGBRANCH RECOVERY" by Randall W. Brown & Associates, Inc., dated December 21, 2023. See sheet C0.1 for existing survey and details.

**PARKING NOTES**

PARKING REQUIREMENTS PER ABITA SPRINGS MASTER PLAN TABLE 2-2:

USE	PARKING REQUIREMENT	PROPOSED	PARKING SPACES REQUIRED
LODGING	1 SPACE PER GUEST ROOM	12 GUEST ROOMS	12 PARKING SPACES
OFFICE SPACE	2 SPACES PER 1,000 SF	950 SF OFFICE	1 PARKING SPACE

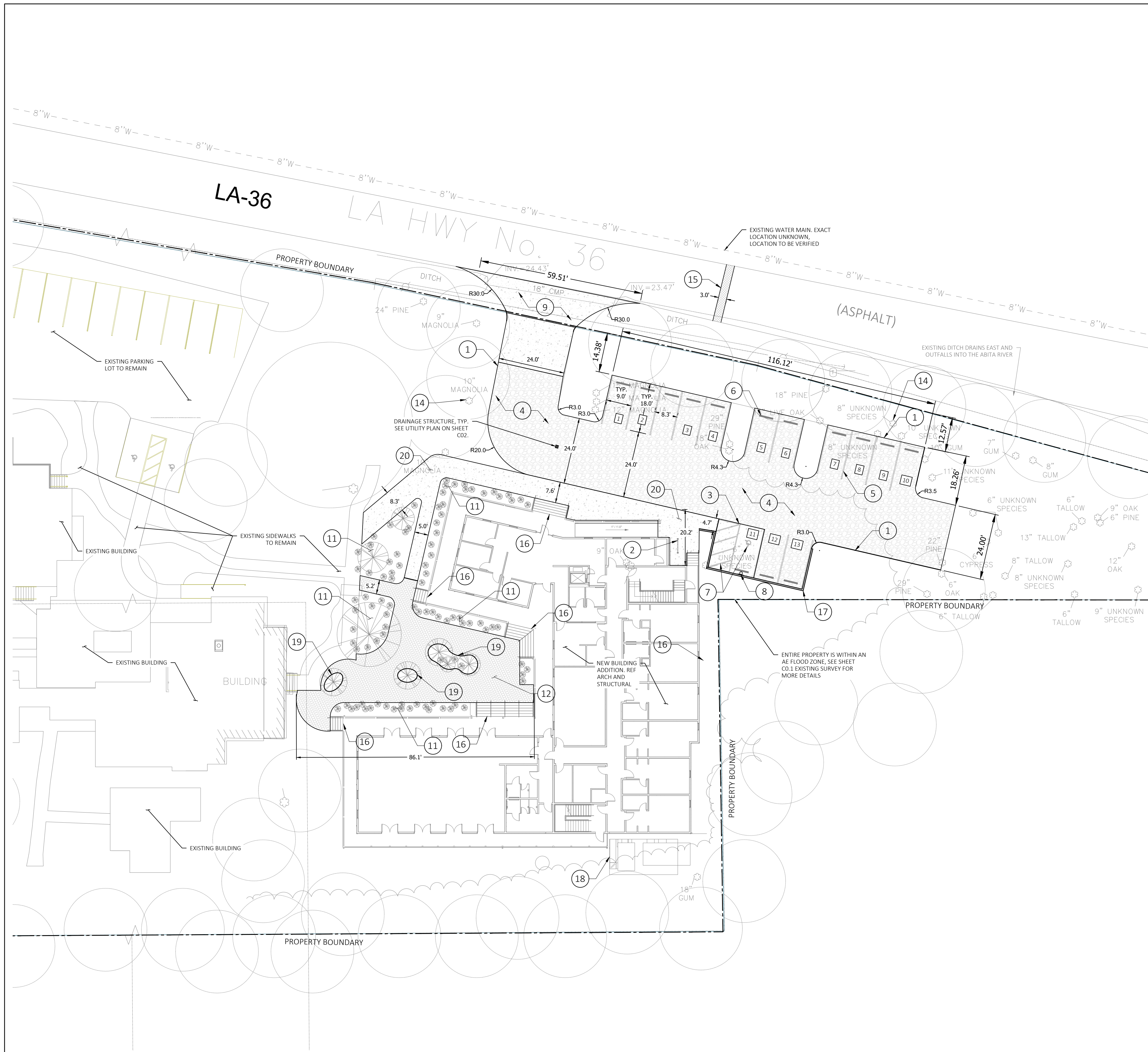
TOTAL: 13 PARKING SPACES REQUIRED

ADA PARKING REQUIREMENT PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN:

TOTAL # PARKING SPACES PROVIDED IN A PARKING LOT	MIN #
ACCESSIBLE PARKING SPACES	1 PARKING SPACE
1 TO 25	

NOTE: TWO ACCESSIBLE PARKING SPACES MAY SHARE AN ACCESS AISLE WITH THE ACCESS AISLE BETWEEN THE TWO SPACES (WITH THE EXCEPTION OF ANGLED PARKING).

NOTE: CROSS SLOPES SHALL BE 1.5% MAX



C1.0 **SITE PLAN**

REV. NO. DATE DESCRIPTION

**LONGBRANCH ABITA**  
21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MAY 23, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

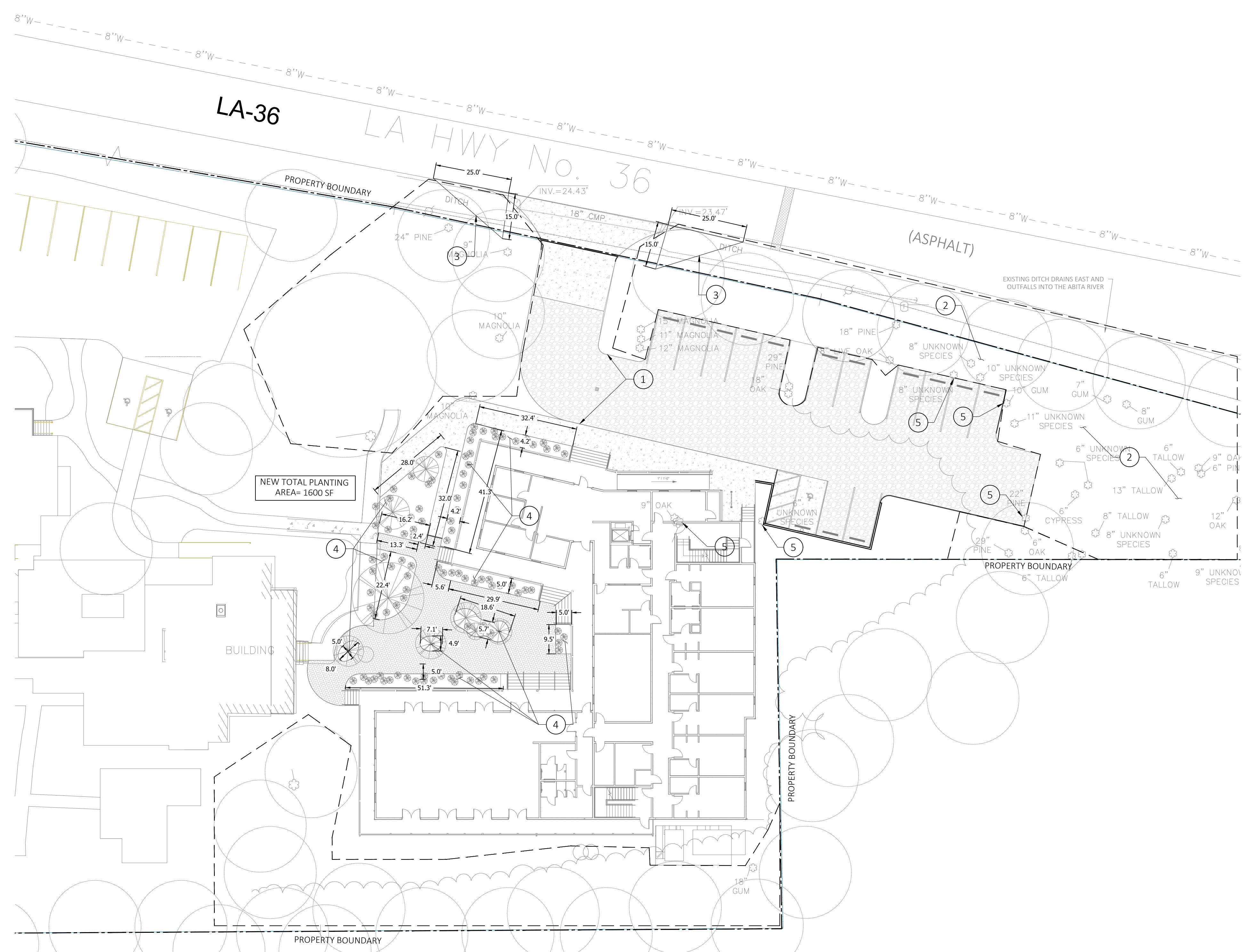
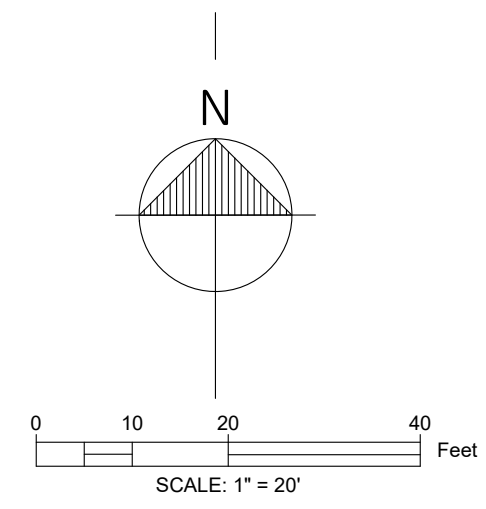
**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

SITE PLAN

SHEET:

**C1.0**





LANDSCAPE PLAN LEGEND	
	TREE PROTECTION ZONE
1	STEEL EDGING ALONG PERIMETER OF PARKING LOT TO CONFINER GRAVEL
2	EXISTING TREE TO ACT AS BUFFER AREAS
3	SITE TRIANGLES PER ABITA SPRINGS MUNICIPAL CODE. CLEAR ANY OBSTRUCTIONS WITHIN THE SITE TRIANGLES AT THE HEIGHT OF 3'-7' ABOVE THE CENTERLINE GRADE OF THE STREET.
4	NEW PLANTING AREAS. REF ARCH FOR TREE AND PLANTING SPECIES
5	REMOVE EXISTING TREES WITHIN SITE AREA. REFERENCE ARCH'S TREE REMOVAL PLAN. CONTRACTOR TO CONFIRM ALL TREE REMOVAL WITH ARCHITECT/OWNER BEFORE STARTING WORK

NEW TOTAL PLANTING AREA= 1600 SF

C4.0 LANDSCAPE PLAN

REV. NO.	DATE	DESCRIPTION

**LONGBRANCH ABITA**  
21516 LA-36, ABITA SPRINGS, LA 70420

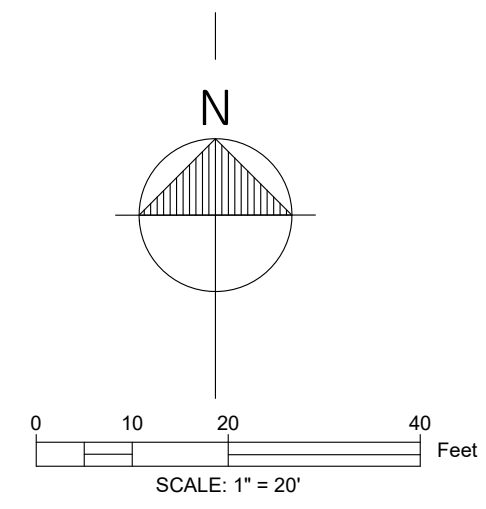
DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MAY 23, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

LANDSCAPE PLAN

SHEET:  
**C4.0**





GRADING PLAN LEGEND		
$+ A.50$	EXISTING ELEVATION	TOC = TOP OF CASTING
$- 4.50$	NEW SPOT ELEVATION	INV = INVERT (DIRECTION)
$\leftarrow 0.5\%$	GRADE ARROW AND SLOPE	TC = TOP OF CURB
G.L.	GRADE CHANGE LINE	G = GUTTER FLOW LINE

**GRADING PLAN NOTES:**

- SEE SITE PLAN AND ARCH. PLAN DRAWINGS FOR GEOMETRY ASSOCIATED WITH NEW CONSTRUCTION.
- CONTRACTOR SHALL LAY OUT THE WORK AND VERIFY ALL DIMENSIONS AND GRADES INDICATED ON THE DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- IN ORDER TO ENCOURAGE INFILTRATION OF STORMWATER AND TO MINIMIZE THE MIGRATION OF SEDIMENT(S), THE FINISHED GRADE FOR ALL LANDSCAPE AND/OR PLANTED AREAS SHALL BE SET A MINIMUM OF 3" BELOW SURROUNDING HARDSCAPE CONTAINMENTS (CURBING, SIDEWALKS, FOUNDATIONS, ETC.). THIS STANDARD MAY BE WAIVED IF NECESSARY TO PROMOTE THE PRESERVATION OF EXISTING TREES SHOWN AS SUCH.
- GRADES SHOWN ARE IN NAVD 88 DATUM. REFERENCE SURVEY / EXISTING CONDITIONS SHEET FOR VERTICAL CONTROL POINTS.



C5.0 GRADING PLAN

REV. NO.	DATE	DESCRIPTION

**LONGBRANCH ABITA**  
21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MAY 23, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

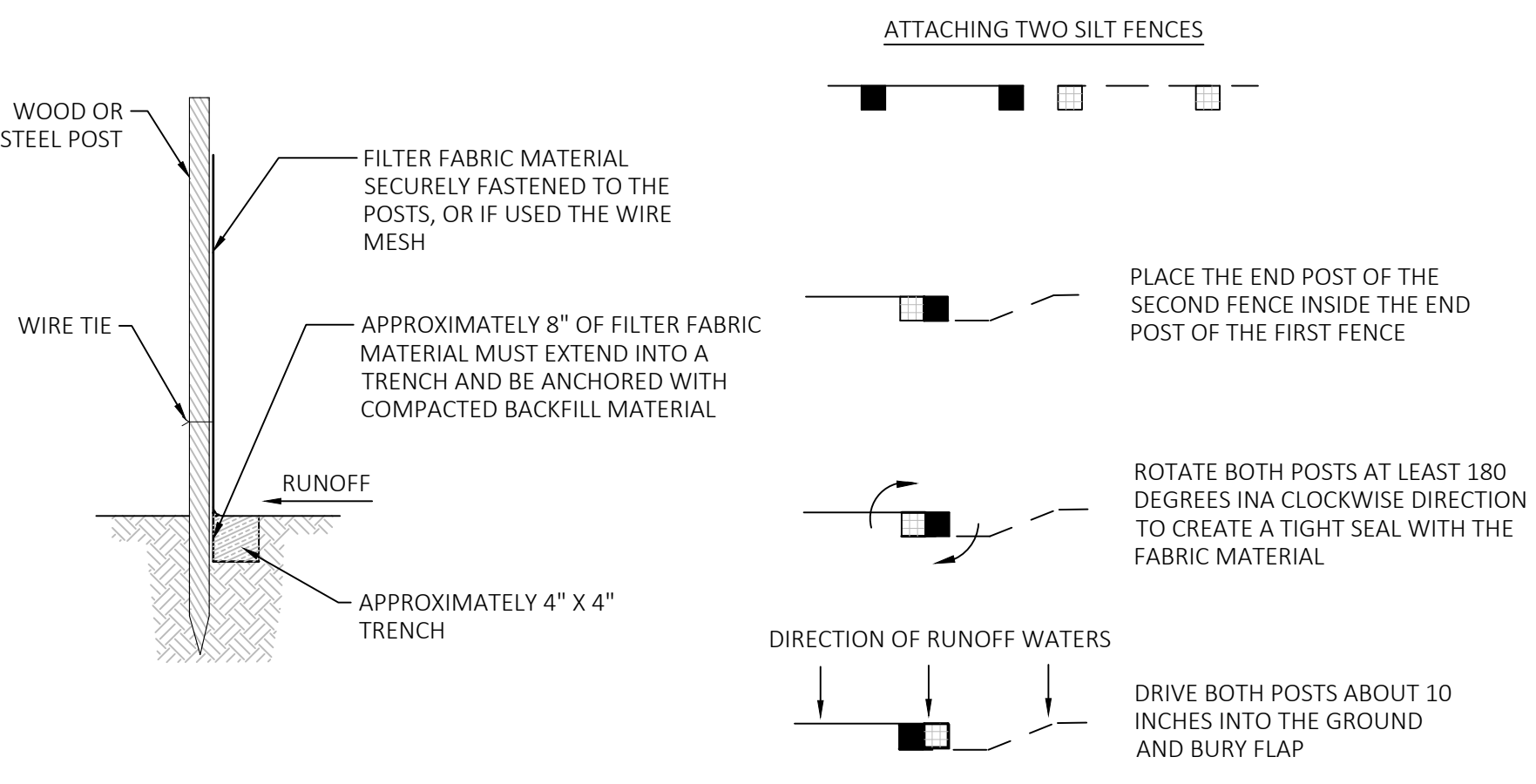
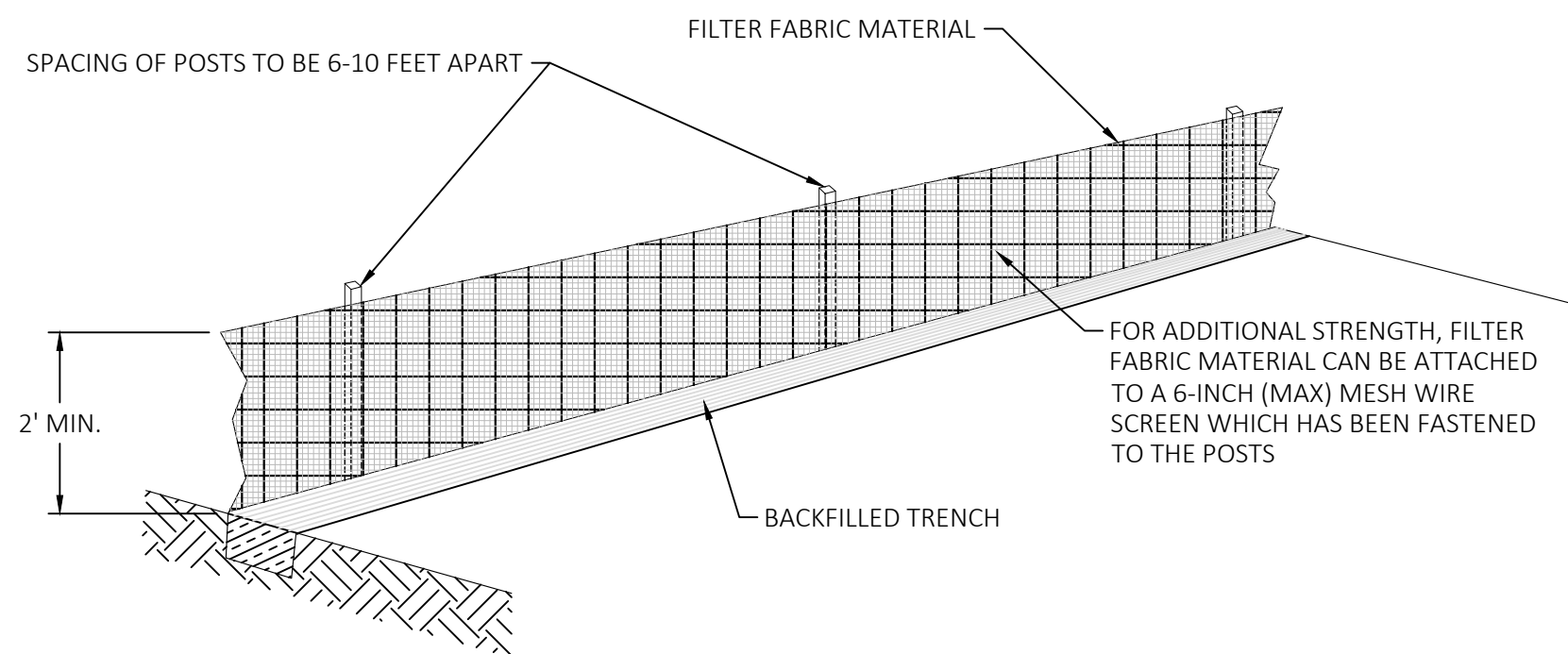
GRADING PLAN

SHEET:  
**C5.0**



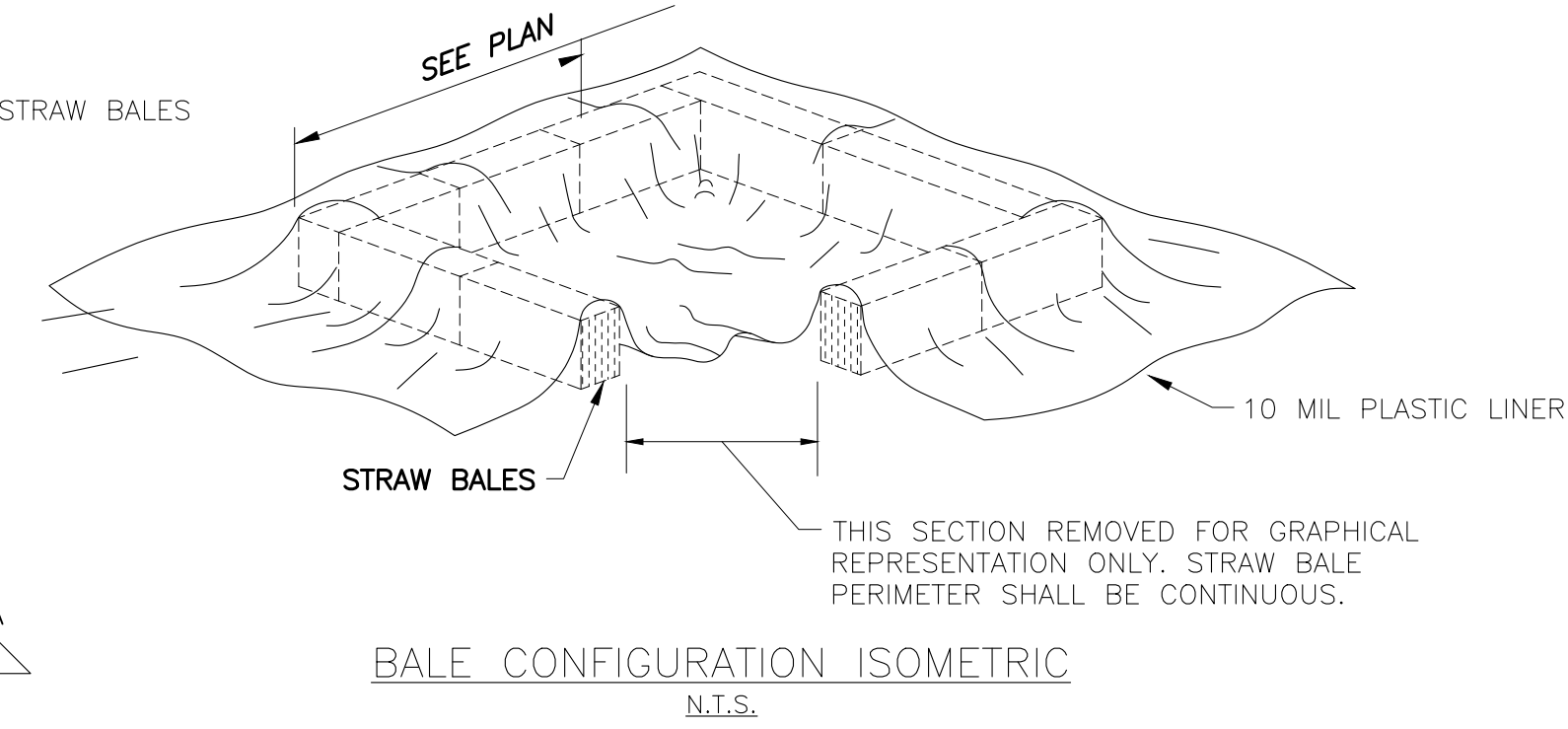
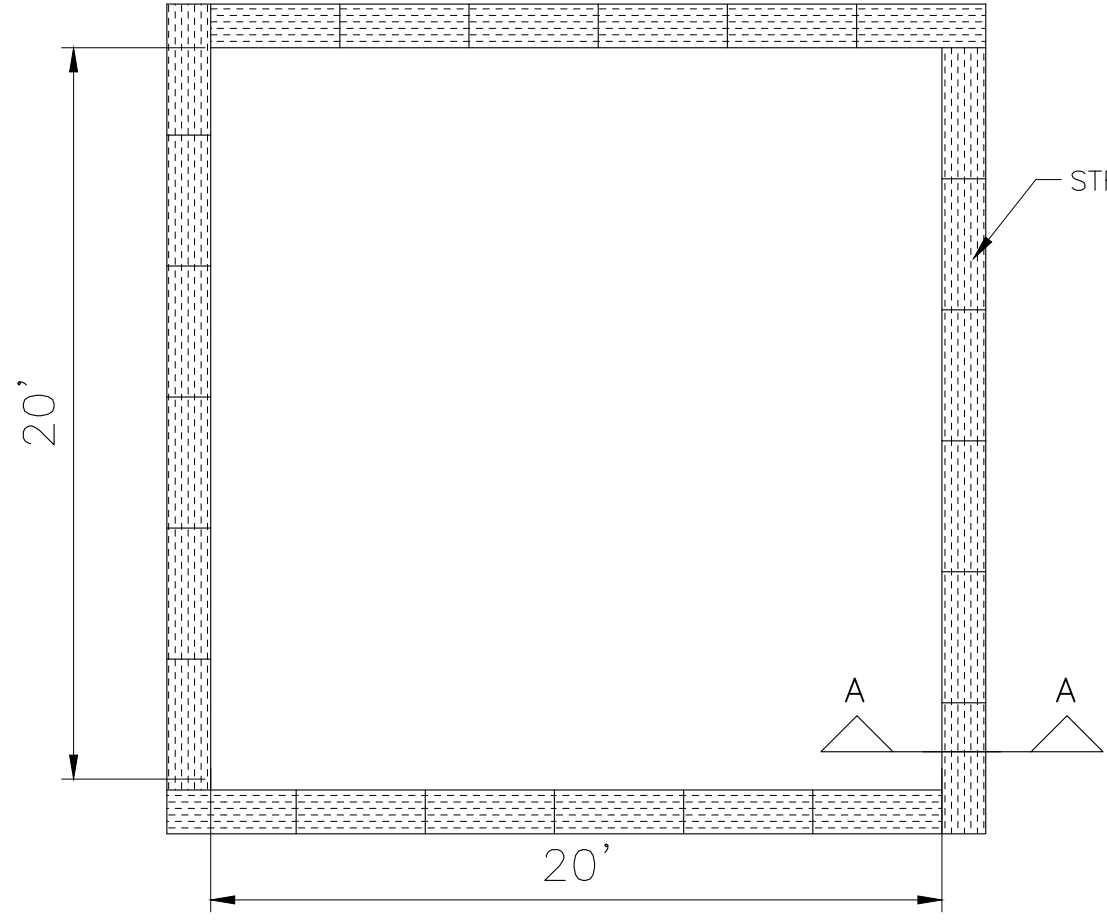


REV. NO.	DATE	DESCRIPTION

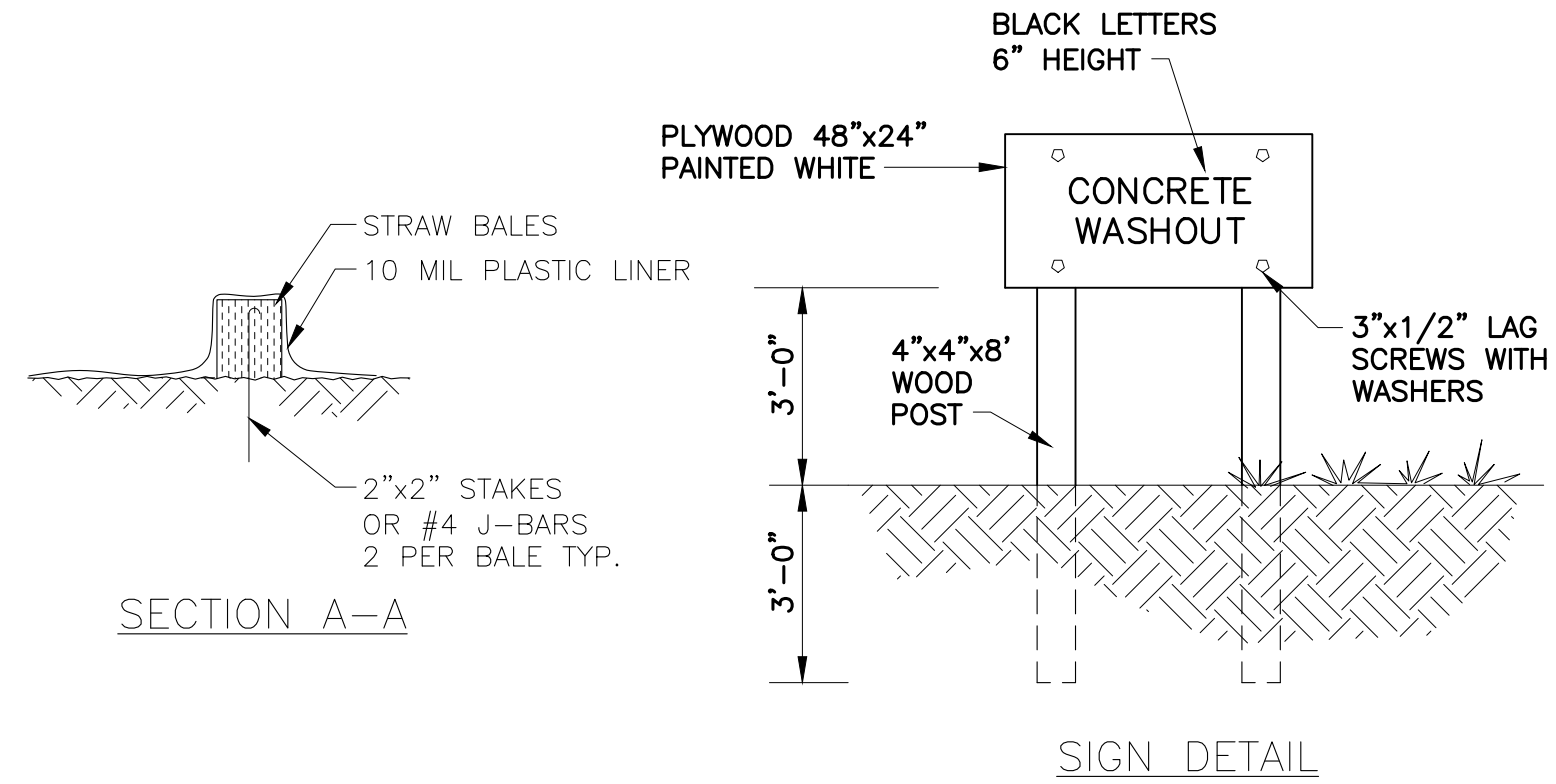


**1 FABRIC FENCE DETAILS**

C5.0 C7.1 NOT TO SCALE

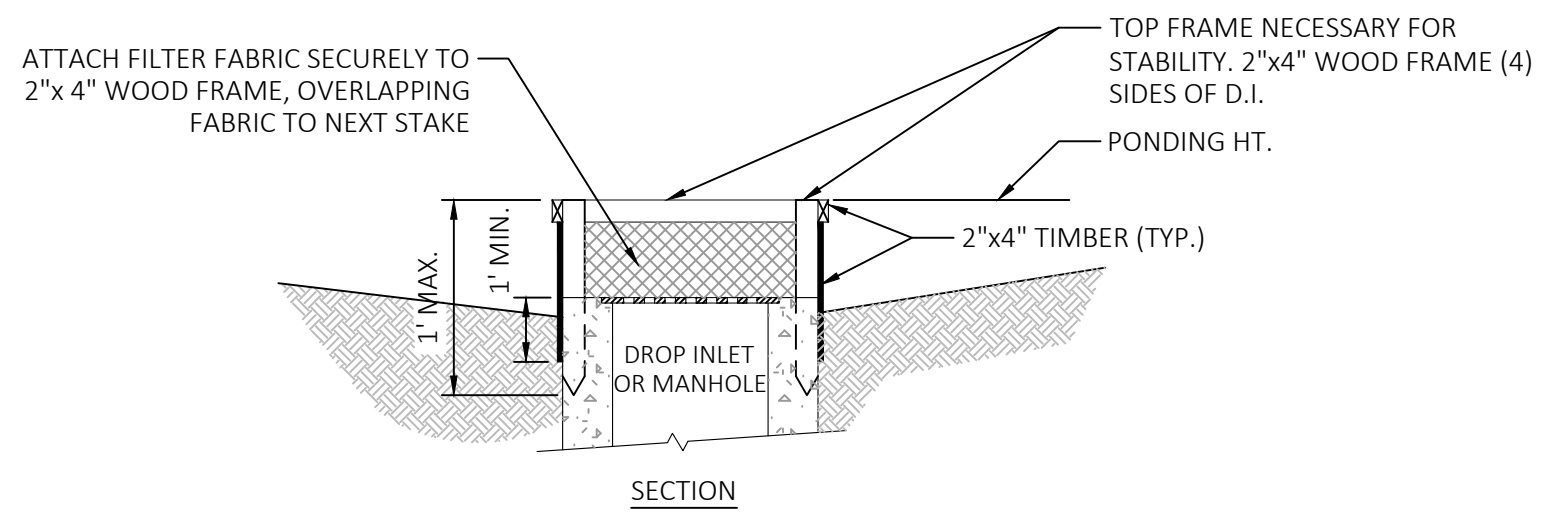
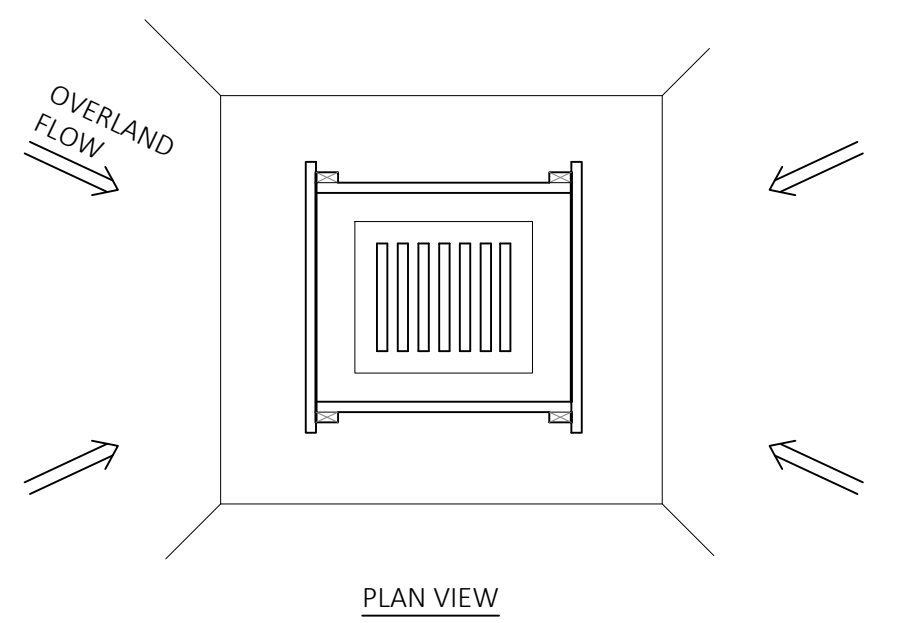


- CONCRETE WASHOUT NOTES:**
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
  2. CONCRETE WASHOUT SIGN SHALL BE WITHIN 30' OF THE CONCRETE WASHOUT BASIN.
  3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF FOUR (4) INCHES.
  4. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.



**2 CONCRETE WASH OUT AREA DETAIL**

C5.0 C7.1 NOT TO SCALE



**3 DROP INLET FILTERS**

C5.0 C7.1 NOT TO SCALE

**LONGBRANCH ABITA**  
21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MAY 23, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

STORMWATER POLLUTION PREVENTION DETAILS

SHEET:

**C7.1**

ACT OF CONTRIBUTION	*	UNITED STATES OF AMERICA
	*	
OF	*	
	*	
PROPERTY	*	STATE OF LOUISIANA
	*	
BY	*	
	*	
HARLIN HOSPICE HOLDINGS, LLC	*	PARISH OF ST. TAMMANY
	*	
TO	*	
	*	
LONGBRANCH REAL ESTATE	*	
HOLDINGS, LLC	*	
	*	
*****		

1. Introduction and Parties.

Be it known that on this 8<sup>th</sup> day of July, 2016, before me, the undersigned notary, and in the presence of the undersigned competent witnesses, personally came and appeared,

**HARLIN HOSPICE HOLDINGS, LLC** (TIN I.D. \*\*-\*\*\*-2649), a Louisiana limited liability company, organized and existing under the laws of the State of Louisiana, represented herein by Daniel Harlin, Manager, authorized by virtue of the Certificate of Authority attached hereto and made a part hereof, and whose mailing address is declared to be: 512 Walnut Street, New Orleans, Louisiana 70118,

who may be hereinafter referred to as the "Transferor", after being duly sworn, declared that it does do by these presents grant, bargain, convey, transfer, assign, set over, abandon and deliver, unto:

**LONGBRANCH REAL ESTATE HOLDINGS, LLC** (TIN \*\*-\*\*\*3261) (the "Transferee"), a Louisiana limited liability company, appearing herein through Christopher G. McMahan, its Managing Director, and whose mailing address is declared to be: #2 Versailles Boulevard, New Orleans, Louisiana 70125;

here present accepting and acquiring for itself and its successors and assigns and acknowledging due delivery and possession thereof, all and singular, all of the Transferor's right, title and interest in and to the following described property (the "Property"):

St. Tammany Parish 20  
Instrmnt #: 2051538  
Registry #: 2479064 pmt  
1/27/2017 9:22:00 AM  
MB CB X MI UCC



THAT CERTAIN PORTION OF GROUND, together with all the buildings and improvements thereon, and all the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, located in St. Tammany Parish, Louisiana, and more particularly described as follows, to-wit:

From the Section Corner common to Sections 25 and 36, Township 6 South, Range 11 East and Sections 30 and 31, Township 6 South, Range 12 East, St. Tammany Parish, Louisiana, run South 00 degrees 15 minutes East 2679.6 feet to the Point of Beginning.

From the Point of Beginning run South 00 degrees 15 minutes East, 40.3 feet to a point; thence North 89 degrees 36 minutes West, 176.6 feet to a point; thence South 00 degrees 35 minutes East, 119.9 feet to a point; thence South 89 degrees 55 minutes West, 150.7 feet to a point; thence North 89 degrees 59 minutes West, 300.6 feet to a point; thence North 00 degrees 06 minutes West, 120.0 feet to a point; thence North 00 degrees 13 minutes West, 176.1 feet to a point; thence South 79 degrees 49 minutes East, 332.2 feet to a point; thence South 77 degrees 35 minutes East, 141.7 feet to a point; thence South 74 degrees 23 minutes East, 168.2 feet back to the Point of beginning.

According to a survey by Land Surveying, Inc., dated March 29, 1996, bearing Map No. 7145, annexed to an act registered in CIN #990545, said tract of land contains 2.87 acres, more or less, and is comprised in part of Lots 1, 2, 3, 4, 5 and "A", and unnamed parcels, Square No. 7, Northwest Division of the Town of Abita Springs.

The improvements thereon bear Municipal No. 21516 LA. HWY. 36, Abita Springs, LA 70420.

Together with any and all rights in and to adjacent property with fence possessed by ancestors in title and conveyed to owner by act recorded May 25, 2005, with the Clerk of Court, St. Tammany Parish as COB Instrument No. 1496360.

Being the same property acquired by seller by act dated December 30, 2010 as Instrument No. 1797436, on January 4, 2011.

This act is made and accepted, subject to the following:

1. Right of way granted to Southern Bell Telephone Company at COB 453, folio 58.
2. Right of way granted to Central Louisiana Electric Company at COB 415, folio 40.
3. Right of way granted to the State of Louisiana at COB 259, folio 412.

4. Mineral Reservation at COB 437, folio 391 dated September 20, 1966 in favor of the Barnett Heirs.

5. Mislocation of fences as shown on the survey by Land Surveying, Inc., dated March 29, 1996, bearing Map No. 7145, annexed to act registered in CIN 990545.

6. Multiple Indebtedness Mortgage in favor of State Bank & Trust Company dated June 4, 2014, recorded as Instrument No. 1942752,

all as recorded in the official registry of St. Tammany Parish, Louisiana.

To have and to hold the Property unto Transferee and its successors and assigns forever.

This conveyance is not a sale. It is a capital contribution of the Property by Transferor to Transferee, for and in exchange for 14,875 Units of Class A Voting Membership Interests of Transferee, of which 7,437.5 Units shall be issued, at the direction of Transferor, to Sweetwater Branch, LLC, and 7,437.5 Units shall be issued to McMahon Medical Holdings, LLC. Transferor and Transferee agree that the interests transferred by each to the other are equal in value and Transferor acknowledges the receipt and sufficiency thereof and grant full acquittance and discharge therefor.

This conveyance is made without any warranty whatsoever as to the condition or fitness of the Property for any purpose, whether express or implied, not even for the return of the consideration therefor or any part thereof, including, but not limited to, any warranties against redhibitory defects. Transferee hereby expressly waives the benefit of any and all such warranties. Without limiting the foregoing, Transferee declares and acknowledges that it has had ample opportunity to examine the Property and all of the improvements located thereon or appertaining thereto, if any, in connection with the use to which Transferee intends to make of the Property and of such improvements, that it accepts the Property and such improvements "as is", "where is" and "with all faults," including, but not limited to, all environmental vices or defects. Transferee specifically relieves and releases Transferors from any and all claims for vices or defects in the Property or in any improvements thereon, whether obvious or latent, known or unknown, and specifically and particularly waives any and all claims or causes of action for redhibition pursuant to Louisiana Civil Code Article 2520, *et seq.*, for diminution of the consideration pursuant to Louisiana Civil Code Articles 2541 *et seq.*, for concealment and/or any other theory of law. Transferee further releases any and all rights, claims, obligations, damages, actions and causes of action that Transferee may have now or hereafter against Transferors under any existing or future federal, state or local environmental laws, including without limitation the Comprehensive Environmental Response, Compensation, and Liability Act, as amended (42 U.S.C. Subsection 9601, *et seq.*) and the Louisiana Environmental Quality Act, as amended (La. R.S. 30:2001, *et seq.*).

The parties waive the production of a current survey, mortgage certificates, tax researches, and title examination and/or title insurance of the Property, and relieve and release the undersigned Notary(s) from any liability with respect thereto.

**THUS DONE AND PASSED** in multiple originals on the date first set forth above, in the presence of the undersigned competent witnesses, who signed their names with the appearers and me, Notary, after due reading of the whole.

**WITNESSES:**

*Debra B. Lassaro*  
Print Name: Debra B. Lassaro

*Maria R. Zabalaoui*  
Print Name: MARIA R. ZABALAOUI

**TRANSFEROR:**

**HARLIN HOSPICE HOLDINGS, LLC**

By: *Daniel Harlin*  
**DANIEL HARLIN**  
Member

**TRANSFeree:**

**LONGBRANCH REAL ESTATE HOLDINGS, LLC**

By: *Christopher G. McMahon*  
**CHRISTOPHER G. MCMAHON**  
Managing Director

*Chantel B. [Signature]*  
Notary Public

LA Bar/Notary No.: \_\_\_\_\_  
Parish of \_\_\_\_\_  
State of Louisiana

**HARLIN HOSPICE HOLDINGS, LLC**  
**LIMITED LIABILITY COMPANY CERTIFICATE OF AUTHORITY**

The undersigned, being the Manager of Harlin Hospice Holdings, LLC (the "Company"), hereby certifies to Longbranch Real Estate, LLC (the "Transferee") that:

a. The Company is a limited liability company existing in good standing under the laws of the State of Louisiana;

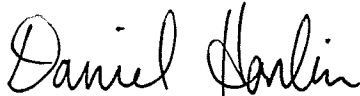
b. The Company desires to transfer to Transferee the property located at 21516 La. Hwy. 36, Abita Springs, Louisiana 70420 as more specifically described on Exhibit "A" attached hereto (the "Property"), which will be evidenced by, *inter alia*, an Act of Contribution of Property and/or any amendments thereto, etc. (the "Transfer Documents");

c. It is in the best interest of the Company to transfer the Property as the Company will receive an advantage and material benefit from the Property that is reasonably worth the obligations undertaken by the Company in connection therewith.

d. The chief executive office of the Company is located at 512 Walnut Street, New Orleans, Louisiana 70118.

e. This Limited Liability Company Certificate of Authority is in accord with and issued pursuant to the articles of organization and operating agreement of the Company and by authorization of the undersigned Manager of the Company.

g. The Company hereby appoints Daniel Harlin, the Manager of the Company, to act alone, for and on behalf of the Company, with respect to the matters set forth in this Certificate, and his genuine signature is set forth above his name below.



\_\_\_\_\_  
Daniel Harlin

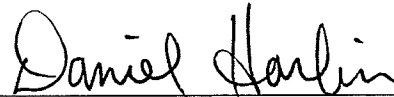
h. Daniel Harlin (hereinafter, "Authorized Representative") be and is hereby authorized and directed to (a) transfer the Property on behalf of the Company; and (b) execute and deliver all necessary documents in connection with the transfer of the Property, including without limitation, the Transfer Documents, and said Authorized Representative's execution and delivery thereof on behalf of the Company to be conclusive evidence of the Authorized Representative and the Company's approval.

i. The Authorized Representative is hereby authorized and directed to do such further acts and things and execute and deliver any and all documents and instruments, both original and amendatory, of every kind and character on behalf of the Company as may be necessary or appropriate, in said Authorized Representative's judgment, from time to time to carry out the terms of the transfer of the Property and the purpose of this Certificate of Authority.

j. Any indebtedness heretofore contracted and any contracts, agreements or notes heretofore made by or on behalf of this Company, and all acts of the Authorized Representative or of other members of this Company in connection with such indebtedness or such contracts, agreements or notes are hereby ratified and confirmed.

k. In express contemplation of action by the Transferee and reliance hereon, the Authorized Representative is hereby authorized and empowered to certify to the Transferee a copy of this Certificate of Authority, and that the Transferee may consider the Authorized Representative to continue in office, and this Certificate of Authority to remain unchanged and in full force and effect until written notice to the contrary signed by the Manager shall be received by the Transferee, which changes of whatever nature shall not be effective as to Transferee to the extent that it has theretofore relied upon the aforesaid Certificate of Authority in the above form.

**IN WITNESS WHEREOF**, we have caused this instrument to be duly executed this 8<sup>th</sup> day of July 2016.



---

**Daniel Harlin**  
**Manager**

## EXHIBIT A

THAT CERTAIN PORTION OF GROUND, together with all the buildings and improvements thereon, and all the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, located in St. Tammany Parish, Louisiana, and more particularly described as follows, to-wit:

From the Section Corner common to Sections 25 and 36, Township 6 South, Range 11 East and Sections 30 and 31, Township 6 South, Range 12 East, St. Tammany Parish, Louisiana, run South 00 degrees 15 minutes East 2679.6 feet to the Point of Beginning.

From the Point of Beginning run South 00 degrees 15 minutes East, 40.3 feet to a point; thence North 89 degrees 36 minutes West, 176.6 feet to a point; thence South 00 degrees 35 minutes East, 119.9 feet to a point; thence South 89 degrees 55 minutes West, 150.7 feet to a point; thence North 89 degrees 59 minutes West, 300.6 feet to a point; thence North 00 degrees 06 minutes West, 120.0 feet to a point; thence North 00 degrees 13 minutes West, 176.1 feet to a point; thence South 79 degrees 49 minutes East, 332.2 feet to a point; thence South 77 degrees 35 minutes East, 141.7 feet to a point; thence South 74 degrees 23 minutes East, 168.2 feet back to the Point of beginning.

According to a survey by Land Surveying, Inc., dated March 29, 1996, bearing Map No. 7145, annexed to an act registered in CIN #990545, said tract of land contains 2.87 acres, more or less, and is comprised in part of Lots 1, 2, 3, 4, 5 and "A", and unnamed parcels, Square No. 7, Northwest Division of the Town of Abita Springs.

The improvements thereon bear Municipal No. 21516 LA. HWY. 36, Abita Springs, LA 70420.

Together with any and all rights in and to adjacent property with fence possessed by ancestors in title and conveyed to owner by act recorded May 25, 2005, with the Clerk of Court, St. Tammany Parish as COB Instrument No. 1496360.

Being the same property acquired by seller by act dated December 30, 2010 as Instrument No. 1797436, on January 4, 2011.

UNITED STATES OF AMERICA

STATE OF LOUISIANA

CASH SALE

PARISH OF ST. TAMMANY

**BE IT KNOWN**, That on **June 4, 2014**, before me, the undersigned Notary Public in and for the Parish and State aforesaid, and in the presence of the undersigned competent witnesses, PERSONALLY CAME AND APPEARED:

**L & W MINERALS AND LAND, L.L.C.**, a Louisiana Limited Liability Company, organized and existing under the laws of the State of Louisiana, represented herein by Wayne McCants, Managing Member, authorized by virtue of the Certificate of Authority recorded in act recorded at CIN 1797437 on January 4, 2011.

**Mailing Address: 7 Mulberry Point, Covington, LA 70433**  
**Federal I.D. No.: xx-xxx5681**

who declared that they do by these presents, grant, bargain, sell, assign, convey, transfer, set-over, abandon and deliver, with all legal warranties and with full substitution and subrogation in and to all rights and actions of warranty which sellers have or may have against all preceding owners and vendors unto

**HARLIN HOSPICE HOLDINGS, LLC**, a Louisiana Limited Liability Company, organized and existing under the laws of the State of Louisiana, represented herein by Daniel Harlin, Manager, authorized by virtue of the Certificate of Authority attached hereto and made a part hereof.

**Mailing Address: 512 Walnut Street, New Orleans, LA 70118**  
**Federal I.D.No. xx-xxx2649**

here present, accepting and purchasing for itself, its heirs and assigns, and acknowledging delivery and possession thereof, the following described property, to-wit:

**THAT CERTAIN PORTION OF GROUND**, together with all the buildings and improvements thereon, and all the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, located in St. Tammany Parish, Louisiana, and more particularly described as follows, to-wit:

From the Section Corner common to Sections 25 and 36, Township 6 South, Range 11 East and Sections 30 and 31, Township 6 South, Range 12 East, St. Tammany Parish, Louisiana, run South 00 degrees 15 minutes East 2679.6 feet to the Point of Beginning.

From the Point of Beginning run South 00 degrees 15 minutes East, 40.3 feet to a point; thence North 89 degrees 36 minutes West, 176.6 feet to a point; thence South 00 degrees 35 minutes East, 119.9 feet to a point; thence South 89 degrees 55 minutes West, 150.7 feet to a point; thence North 89 degrees 59 minutes West, 300.6 feet to a point; thence North 00 degrees 06 minutes West, 120.0 feet to a point; thence North 00 degrees 13 minutes West, 176.1 feet to a point; thence South 79 degrees 49 minutes East, 332.2 feet to a point; thence South 77 degrees 35 minute East, 141.7 feet to a point; thence South 74 degrees 23 minutes East, 168.2 feet back to the Point of beginning.

According to a survey by Land Surveying, Inc., dated March 29, 1996, bearing Map No. 7145, annexed to an act registered in CIN #990545, said tract of land contains 2.87 acres, more or less, and is comprised in part of Lots 1,2,3,4,5 and "A", and unnamed parcels, Square No. 7, Northwest Division of the Town of Abita Springs.

**The improvements thereon bear Municipal No. 21516 LA. HWY. 36, Abita Springs, LA 70420.**

Together with any and all rights in and to adjacent property with fence possessed by ancestors in title and conveyed to owner by act recorded May 25, 2005, with the Clerk of Court, St.

St. Tammany Parish 1038  
 Instrument #: 1943750  
 Registry #: 2310384 bdf  
 06/06/2014 2:27:00 PM  
 ME CB X MI UCC

**CERTIFICATE OF AUTHORITY**

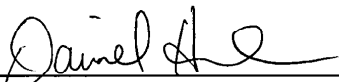
THE UNDERSIGNED, being all of the members of HARLIN HOSPICE HOLDINGS, LLC (the "Company") and acting in such capacity, hereby certify that:

DANIEL HARLIN, as a Member of the Company (the "Member"), be and is hereby authorized and empowered on behalf of the Company to borrow money for the Company in such amounts and payable in such a manner and bearing such interest rates as he/she may determine proper. In connection with the authority herein granted, the Managers are hereby authorized and empowered for and on behalf of the Company to mortgage any of the property owned by the Company in the State of Louisiana, to secure any loan, such acts of mortgage to contain all of the usual and customary clauses contained in mortgage instruments in Louisiana, including the confession of judgment, waiver of appraisalment, and the pact de non alienando.

The Member be and is hereby authorized and empowered for and on behalf of the Company to buy, sell, exchange, lease or otherwise alienate any and all types of property, real, personal or mixed, purchased by, sold to or owned by the Company in the State of Louisiana, and is authorized on behalf of the Company to execute any and all contracts containing and upon such terms and conditions as he/she determines fit and proper, the Company hereby ratifying all prior sales, purchases and contracts made on behalf of the Company by the Member.

The Member be and is hereby authorized and empowered on behalf of the Company to sign any leases, acts of sale, acts of mortgage, acts of collateral mortgage, acts of sale with assumption of mortgage, acts of assumption of mortgage, acts of exchange, contracts, promissory notes and any other documents necessary to carry out the authority granted in this authority.

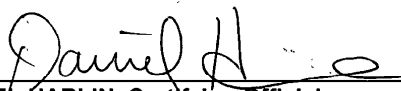
THUS DONE AND SIGNED this 4th day of June, 2014.

  
 \_\_\_\_\_  
 DANIEL HARLIN, Member

**CERTIFICATE**

The undersigned duly designated Certifying Official does hereby certify that Daniel Harlin is the only Member of HARLIN HOSPICE HOLDINGS, LLC.

THUS DONE AND SIGNED this 14th day of \_\_\_\_\_, 2014.

  
 \_\_\_\_\_  
 DANIEL HARLIN, Certifying Official



Tammany Parish as COB Instrument No. 1496360.

Being the same property acquired by seller by act dated December 30, 2010 as Instrument No. 1797436, on January 4, 2011.

This act is made and accepted, subject to the following:

Right of way granted to Southern Bell Telephone Company at COB 453, folio 58.

Right of way granted to Central Louisiana Electric Company at COB 415, folio 40.

Right of way granted to the State of Louisiana at COB 259, folio 412.

Mineral Reservation at COB 437, folio 391 dated September 20, 1966 in favor of the Barnett Heirs.

Mislocation of fences as shown on the survey by Land Surveying, Inc., dated March 29, 1996, bearing Map No. 7145, annexed to act registered in CIN 990545.

To have and to hold the said property unto the said purchasers, their heirs and assigns forever.

This sale is made and accepted for and in consideration of the total price and sum of **SEVEN HUNDRED SEVENTY FIVE THOUSAND AND NO/100 (\$775,000.00) DOLLARS**, cash, which the said purchaser has well and truly paid, in ready and current money, to the seller who hereby acknowledges the receipt thereof and grants full acquittance and full discharge therefor.

All City, State and Parish taxes up to and including the taxes due and exigible for 2013 are paid, after proration, and 2014 and all subsequent years shall be the responsibility of seller.

The certificates of Mortgage and Conveyance are waived, and the Parties hereto relieve and release me, Notary, from all responsibility and liability in conjunction therewith.

**NOTICE REQUIRED BY LSA R.S. 22:513.1** If title insurance was issued in connection with this transaction it was issued by First American Title Insurance Company pursuant to a title opinion provided by D. Rex English, 85 Whisperwood Blvd., Slidell, LA 70458, La. Bar #5353, La. Title Insurance License No. 113926.

That whenever the word or words he, him, himself, his, purchaser, seller, vendor or any other such descriptive words referring to the parties hereto are used, they shall be construed to apply to the singular or plural, masculine, feminine or neuter, as the case may be.

**THUS DONE AND PASSED**, in my office in St. Tammany Parish, Louisiana, on the day, month and year first above written, in the presence of the undersigned competent witnesses, who have hereto signed their names with the said appearers and me, Notary, after reading of the whole.

WITNESSES:

L & W MINERALS AND LAND, L.L.C, Seller

*Nikki & Jaeman*  
NIKKI C. FOREMAN

BY: *Wayne McCants*  
WAYNE McCANTS, duly authorized

HARLIN HOSPICE HOLDINGS, LLC,  
Purchaser

*Dancy C. Sawopoc*  
DANCY C. SAWOPOC

BY: *Daniel Harlin*  
DANIEL HARLIN, duly authorized

*[Signature]*  
NOTARY PUBLIC  
My Commission expires: \_\_\_\_\_  
D. REX ENGLISH, # 5353  
NOTARY PUBLIC  
STATE OF LOUISIANA  
MY COMMISSION IS FOR LIFE

FILED BY: TITLE CLOSING GROUP, INC., 85 Whisperwood Blvd., Slidell, LA 70458  
RS14051/Harlin