



**CERTIFICATE OF APPROPRIATENESS FOR NON-RESIDENTIAL STRUCTURES**

Applications due 10 days before the meeting date.

**REQUIRED DOCUMENTS**

- Completed Historic Certificate of Appropriateness Application
- Google Map with location marked showing surrounding streets.
- Street View of Property
- Site Plan
- Floor Plans
- Elevations of Front, Rear and Both Sides
- Material Information

**HISTORIC COMMISSION**

MEETING DATE: \_\_\_\_\_

***Summary Sheet***

Applicant Name: **MATT DECOTIIS** \_\_\_\_\_

Builder: **REEVES CONSTRUCTION GROUP** \_\_\_\_\_

Address: **4933 MAGAZINE ST, SUITE 202 NEW ORLEANS LA 70115** \_\_\_\_\_

New Home  Addition/Reno  Other: **NEW COMMERCIAL BUILDING** \_\_\_\_\_

Commissioner Assigned for Follow-up: \_\_\_\_\_

Order for Meeting: \_\_\_\_\_



**Project Address:** 21516 LA-36, ABITA SPRINGS, 70420

**Applicant**

Name: MATT DECOTIIS (REPRESENTING CICADA) Phone: 914.456.1298

Email: MATT@CICADATEAM.COM

Address: 4933 MAGAZINE ST, SUITE 202 NEW ORLEANS LA 70115

**Owner: (if different from applicant)**

Name: CHRIS DEVINE Phone: 765.426.6406

Email: CDEVINE@ABACUSINVESTMENTS.COM

Address: 2207 2ND AVE N, BIRMINGHAM, AL 35203

**Contractor Name & Company:**

Name: REEVES CONSTRUCTION GROUP Phone: 504.500.7362

Email: EREEVES@REEVESCONSTRUCTIONGROUP.COM

Address: 264 HARBOR CIRCLE, SUITE H, NEW ORLEANS, LA 70126

	<u>6/7/2024</u>		<u>6/7/2024</u>
<b>Signature of Owner</b>	Date	<b>Signature of Applicant</b>	Date

7-DAY NOTICE REQUIRED BEFORE FINAL APPROVAL OF CONSTRUCTION. IF YOU BUILD IN THE HISTORIC DISTRICT APPROVAL MUST BE GIVEN BEFORE YOUR CERTIFICATE OF OCCUPANCY WILL BE ISSUED.

**Commissioner Initial Approval**

\_\_\_\_\_ Ron Blicht

Commission Review Date: \_\_\_\_\_

\_\_\_\_\_ Otto Dinkelacker

\_\_\_\_\_ Andre Monnot

Commissioner Assigned: \_\_\_\_\_

\_\_\_\_\_ Alissa Whitney

Final Inspection completed on Date: \_\_\_\_\_

\_\_\_\_\_ Paul Vogt

Approved By:  Email  Phone Call



Submission Date: \_\_\_\_\_

Historic Meeting Date: \_\_\_\_\_

**Submitted By:**  Owner  Applicant

**Project:**  New Construction  Renovation  Addition  Auxiliary Bldg.

Other: \_\_\_\_\_

**Briefly describe your project:**

**NEW CONSTRUCTION ON AN EXISTING CAMPUS - 13,500 SF BUILDING TO BE OCCUPANCY I-1 CONDITION 1, AND WILL PROVIDE 12 ROOM (24 BEDS) WITH ASSOCIATED GROUP AND MEETING ROOMS ALONG WITH ANCILLARY OFFICE SPACE FOR EMPLOYEES**

Street Address **21516 LA-36, ABITA SPRINGS, 70420**

Legal Description: **LOTS 1-5, SQUARE 7 NORTHWEST DIVISION OF ABITA SPRINGS, A PORTION OF GROUND SITUATED IN SECTION 36, T-6-2, R-11-E, IN ST TAMMANY PARISH**

Nearest Cross Streets: **LA-36 + GORDON ST**

Lot Dimensions: **IRREGULAR SHAPED LOT (RE SURVEY) APPROX. 642.1 FEET ALONG LA-36**

Work Begins: **SUMMER 2024** Estimated Completion Date: **SPRING 2025**



## Checklist

Foundation: **RAISED TIMBER PILES - PILES WILL BE SCREENED WITH PRESSURE TREATED 1X6 AT EAST ELEVATION**

Crawlspace: **YES**

Siding(s): **CEMENTITIOUS SIDING (HARDIE OR SIM.) + BOARD AND BATTEN ACCENTS RE: AT-TACHED ELEVATIONS**

Colors: **SEE ATTACHED RENDERINGS FOR CONCEPT, FINAL COLORS TBD**

Roof (material & slope): **SEE ATTACHED ROOF PLAN FOR SLOPE, MATERIALS: LOW ROOF - EXPOSED FASTENER CORRUGATED METAL ROOF; HIGH ROOF - SHINGLE**

Front Porch: **YES, 1X6 PTD. PRESSURE TREATED BOARDS WITH 1/4" GAP**

Railing: **STEEL AND CABLE**

Chimney: **N/A**

Steps: **WOOD**

Height of Building: **38'-6 FROM GRADE TO RIDGE**

Window Trim: **CEMENTITIOUS TRIM**

Trim: **CEMENTITIOUS TRIM**

Columns: **PTD. WOOD**

Doors: **PTD. WOOD**

Shutters: **N/A**

Accessory Buildings: **N/A**

Fences: **N/A**

Lighting: **RE: ATTACHED LIGHTING PLAN AND ELEVATIONS**  
**TBD - DESIGN TEAM TO COORDINATE HISTORIC COMMISSION STAFF MEMBER**

Signs: **PRIOR TO INSTALLATION**



# LONGBRANCH RECOVERY & WELLNESS CENTER EXPANSION

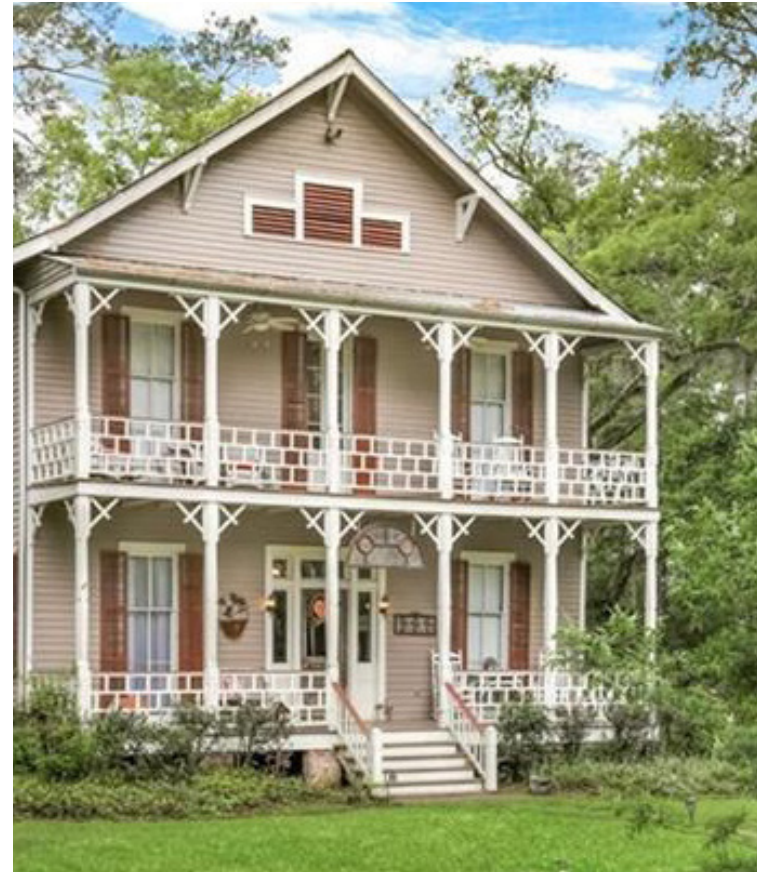
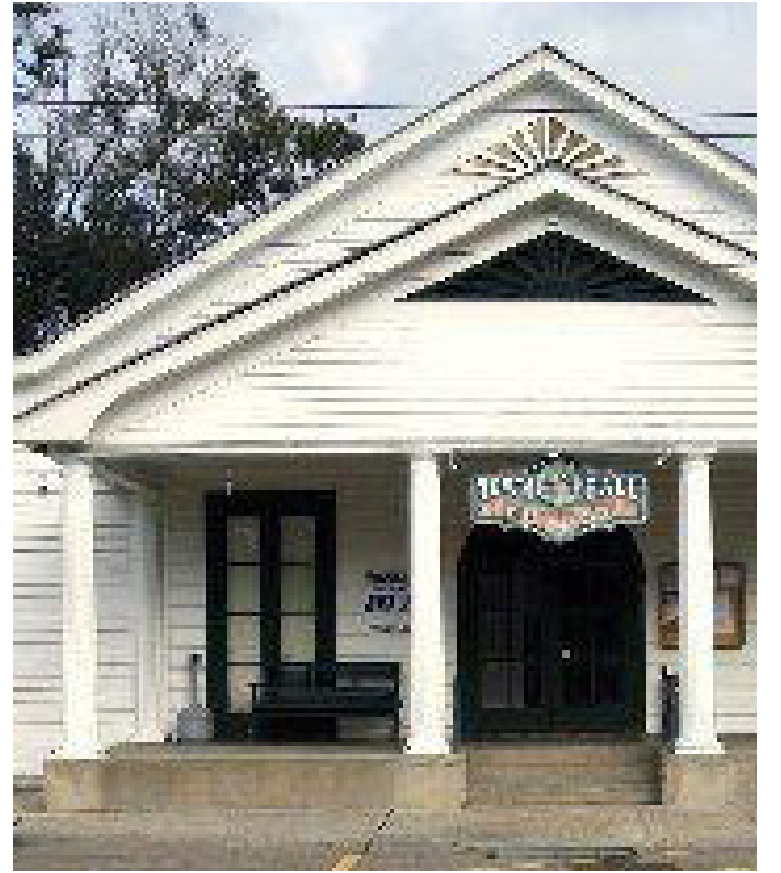
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HISTORIC COMMISSION MEETING  
06.05.2024



CICADA





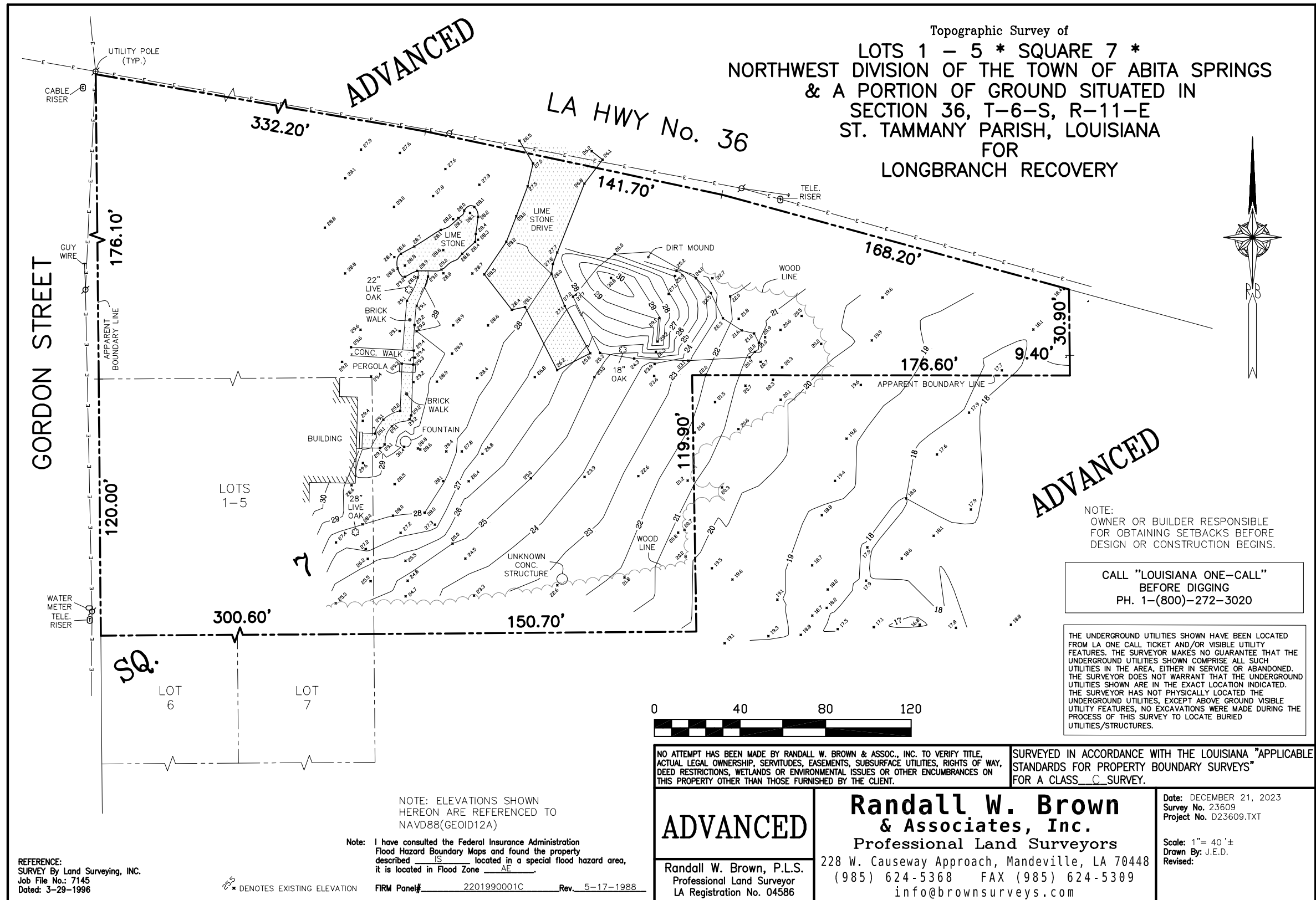












**LONGBRANCH // ABITA SPRINGS**  
 SURVEY

**CICADA**



**SITE PLAN LEGEND**

PROPERTY LINE	
EXISTING TREES	
EXISTING VEHICULAR AND PEDESTRIAN CIRCULATION	
CRUSHED GRAVEL	
BRICK PATHWAY	
CONCRETE	
POOL OR WATER FEATURE	

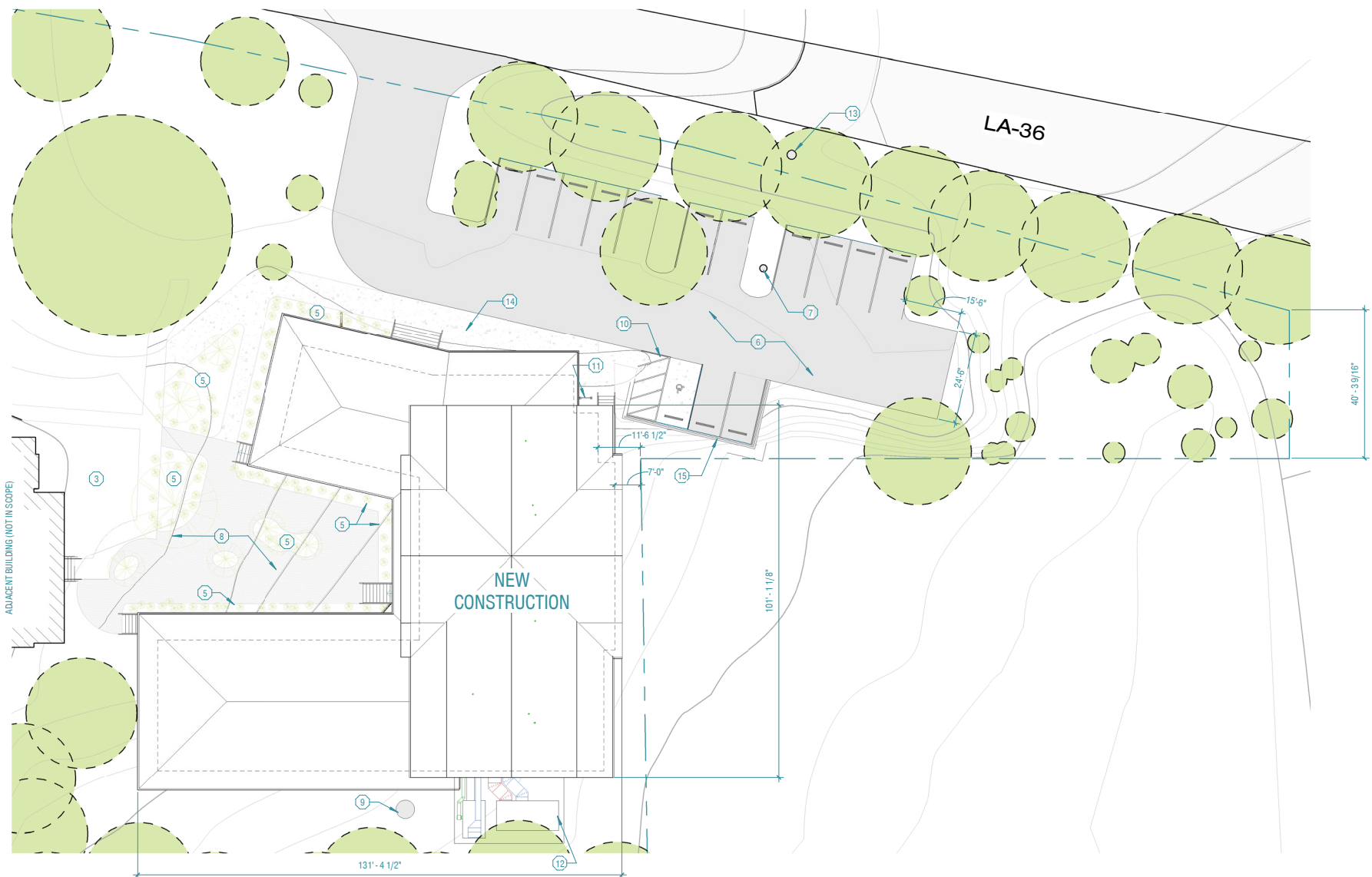
**SITE PLAN KEYNOTES**

1	EXISTING PARKING AREA
2	EXISTING PARKING ACCESS DRIVE
3	EXISTING PLANTING BED
4	EXISTING TRASH STORAGE
5	NEW PLANTING BED
6	NEW COMPACTED GRAVEL PARKING LOT
7	EXISTING UTILITY POLE DIAGONAL SUPPORT
8	BRICK PAVERS (TO MATCH EXISTING)
9	UNKNOWN CONCRETE STRUCTURE
10	PAVED CONCRETE AT ADA PARKING SPACES
11	BIKE RACK
12	MECHANICAL EQUIPMENT & PLATFORM
13	EXISTING UTILITY POLE
14	PAVED CONCRETE WALKWAY
15	RETAINING WALL

**D2 // SITE KEY PLAN**  
1" = 20'-0"



**LONGBRANCH // ABITA SPRINGS**  
SITE KEY PLAN



**SITE PLAN LEGEND**

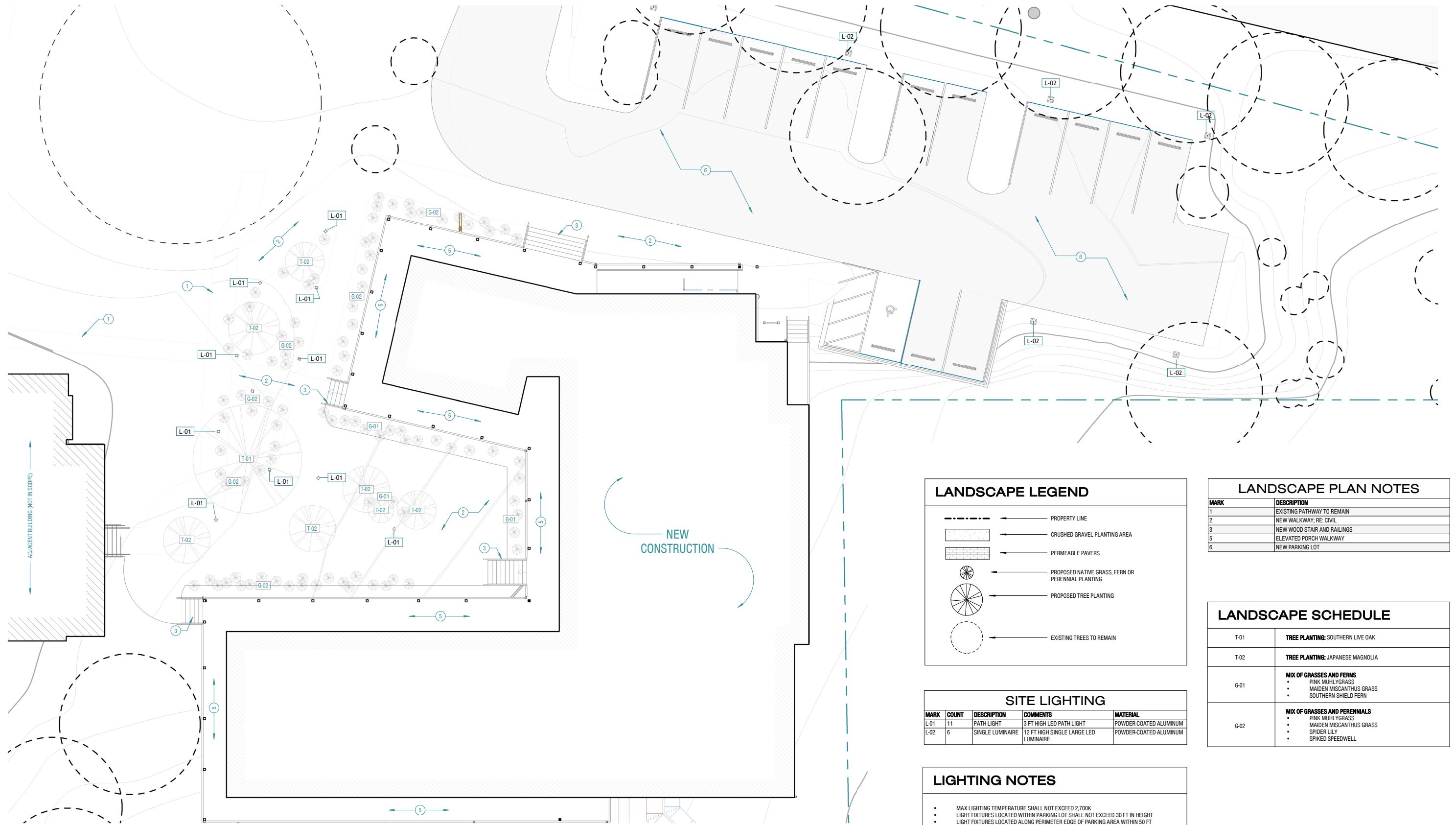
PROPERTY LINE	
EXISTING TREES	
EXISTING VEHICULAR AND PEDESTRIAN CIRCULATION	
CRUSHED GRAVEL	
BRICK PATHWAY	
CONCRETE	
POOL OR WATER FEATURE	

**SITE PLAN KEYNOTES**

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14	PAVED CONCRETE WALKWAY
15	RETAINING WALL

L2 // SITE PLAN  
1" = 40'-0"





L1 // LANDSCAPE & LIGHTING PLAN  
1" = 20'-0"



LANDSCAPE LEGEND	
	PROPERTY LINE
	CRUSHED GRAVEL PLANTING AREA
	PERMEABLE PAVERS
	PROPOSED NATIVE GRASS, FERN OR PERENNIAL PLANTING
	PROPOSED TREE PLANTING
	EXISTING TREES TO REMAIN

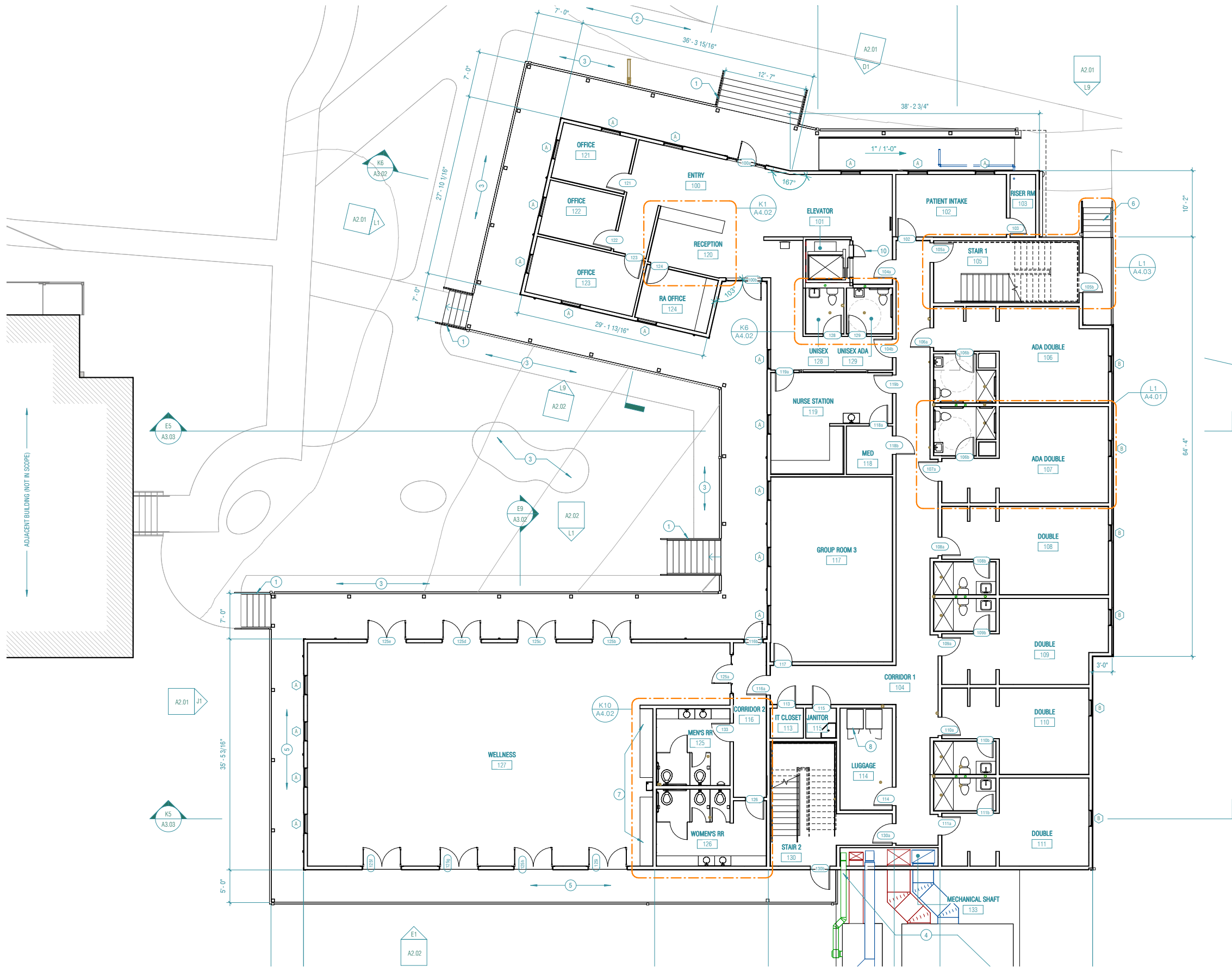
LANDSCAPE PLAN NOTES	
MARK	DESCRIPTION
1	EXISTING PATHWAY TO REMAIN
2	NEW WALKWAY; RE: CIVIL
3	NEW WOOD STAIR AND RAILINGS
5	ELEVATED PORCH WALKWAY
6	NEW PARKING LOT

SITE LIGHTING				
MARK	COUNT	DESCRIPTION	COMMENTS	MATERIAL
L-01	11	PATH LIGHT	3 FT HIGH LED PATH LIGHT	POWDER-COATED ALUMINUM
L-02	6	SINGLE LUMINAIRE	12 FT HIGH SINGLE LARGE LED LUMINAIRE	POWDER-COATED ALUMINUM

LANDSCAPE SCHEDULE	
T-01	<b>TREE PLANTING:</b> SOUTHERN LIVE OAK
T-02	<b>TREE PLANTING:</b> JAPANESE MAGNOLIA
G-01	<b>MIX OF GRASSES AND FERNS</b> <ul style="list-style-type: none"> <li>• PINK MUHLYGRASS</li> <li>• MAIDEN MISCANTHUS GRASS</li> <li>• SOUTHERN SHIELD FERN</li> </ul>
G-02	<b>MIX OF GRASSES AND PERENNIALS</b> <ul style="list-style-type: none"> <li>• PINK MUHLYGRASS</li> <li>• MAIDEN MISCANTHUS GRASS</li> <li>• SPIDER LILY</li> <li>• SPIKED SPEEDWELL</li> </ul>

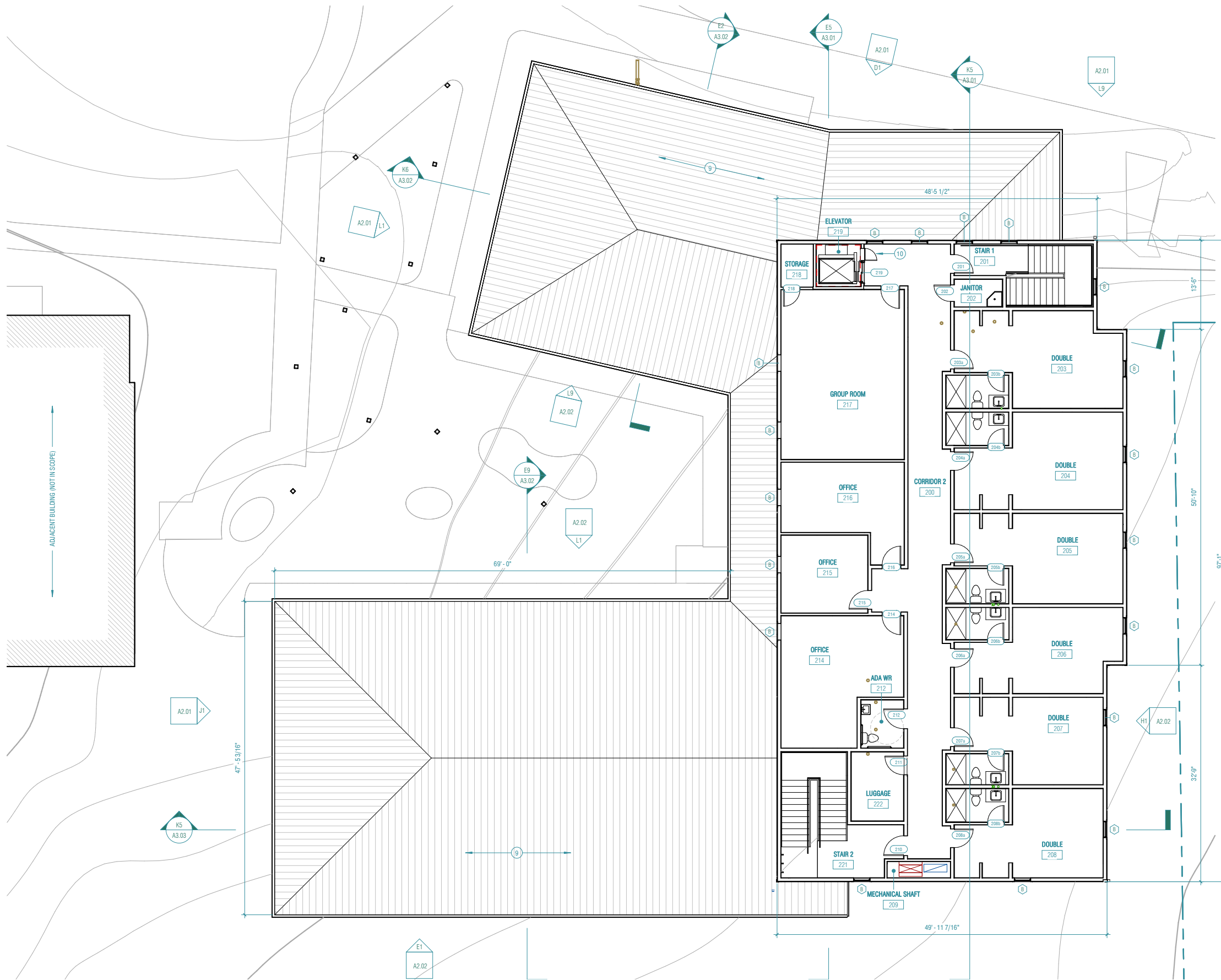
LIGHTING NOTES
<ul style="list-style-type: none"> <li>• MAX LIGHTING TEMPERATURE SHALL NOT EXCEED 2,700K</li> <li>• LIGHT FIXTURES LOCATED WITHIN PARKING LOT SHALL NOT EXCEED 30 FT IN HEIGHT</li> <li>• LIGHT FIXTURES LOCATED ALONG PERIMETER EDGE OF PARKING AREA WITHIN 50 FT OF A PROPERTY LINE SHALL NOT EXCEED 16 FT IN HEIGHT</li> <li>• LIGHT FIXTURES LOCATED ALONG PEDESTRIAN WALKWAYS SHALL NOT EXCEED 10 FT IN HEIGHT</li> <li>• ENERGY EFFICIENT EXTERIOR LAMPS TO BE INCLUDED THROUGHOUT</li> </ul>





LEVEL 1 ROOM SCHEDULE			
NUMBER	NAME	NET AREA	COMMENTS
100	ENTRY	685 SF	
101	ELEVATOR	44 SF	
102	PATIENT INTAKE	162 SF	
103	RISER RM	37 SF	
104	CORRIDOR 1	638 SF	
105	STAIR 1	211 SF	
106	ADA DOUBLE	376 SF	
107	ADA DOUBLE	385 SF	
108	DOUBLE	346 SF	
109	DOUBLE	322 SF	
110	DOUBLE	296 SF	
111	DOUBLE	306 SF	
113	IT CLOSET	23 SF	
114	LUGGAGE	125 SF	
115	JANITOR	21 SF	
116	CORRIDOR 2	118 SF	
117	GROUP ROOM 3	527 SF	
118	MED	52 SF	
119	NURSE STATION	231 SF	
120	RECEPTION	98 SF	
121	OFFICE	99 SF	
122	OFFICE	96 SF	
123	OFFICE	147 SF	
124	RA OFFICE	93 SF	
125	MEN'S RR	133 SF	
126	WOMEN'S RR	186 SF	
127	WELLNESS	1624 SF	
128	UNISEX	41 SF	
129	UNISEX ADA	49 SF	
130	STAIR 2	233 SF	
133	MECHANICAL SHAFT	42 SF	
Total:		8046 SF	

PLAN NOTES	
MARK	DESCRIPTION
1	WOOD STAIR, TYP.
2	NEW CONCRETE SIDEWALK
3	PLANTER BED
4	MECHANICAL PLATFORM
5	EGRESS BALCONY
6	EGRESS STAIR TO GRADE, WALKWAY AT GRADE TO LEAD TO PARKING AREA
7	BUILT IN STORAGE / SINK
8	STACKED WASHER / DRYER
9	METAL ROOF, RE: ROOF PLAN
10	ADDITIONAL DOOR TO BE PROVIDED AT HOISTWAY OPENING AND MEET THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN IBC 2021, SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL.



LEVEL 2 ROOM SCHEDULE			
NUMBER	NAME	NET AREA	COMMENTS
200	CORRIDOR 2	633 SF	
201	STAIR 1	162 SF	
202	JANITOR	30 SF	
203	DOUBLE	361 SF	
204	DOUBLE	376 SF	
205	DOUBLE	348 SF	
206	DOUBLE	317 SF	
207	DOUBLE	297 SF	
208	DOUBLE	303 SF	
209	MECHANICAL SHAFT	24 SF	
212	ADA WR	47 SF	
214	OFFICE	317 SF	
215	OFFICE	154 SF	
216	OFFICE	223 SF	
217	GROUP ROOM	478 SF	
218	STORAGE	32 SF	
219	ELEVATOR	43 SF	
221	STAIR 2	250 SF	
222	LUGGAGE	82 SF	
Total		4476 SF	

PLAN NOTES	
MARK	DESCRIPTION
1	WOOD STAIR, TYP
2	NEW CONCRETE SIDEWALK
3	PLANTER BED
4	MECHANICAL PLATFORM
5	EGRESS BALCONY
6	EGRESS STAIR TO GRADE, WALKWAY AT GRADE TO LEAD TO PARKING AREA
7	BUILT IN STORAGE / SINK
8	STACKED WASHER / DRYER
9	METAL ROOF, RE: ROOF PLAN
10	ADDITIONAL DOOR TO BE PROVIDED AT HOISTWAY OPENING AND MEET THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN IBC 2021, SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL



LAP SIDING



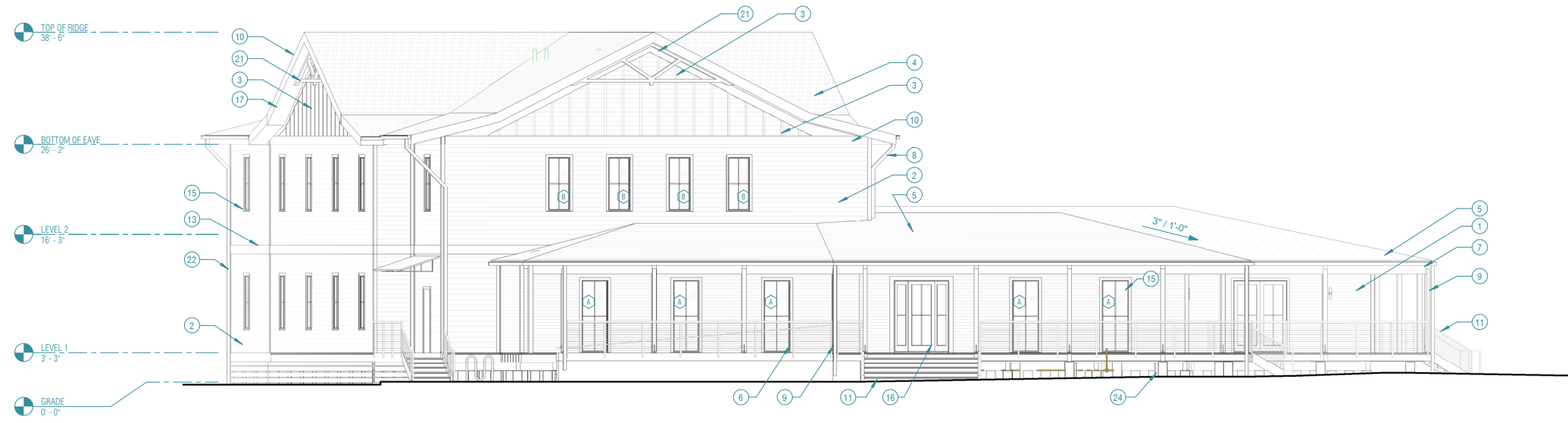
METAL ROOFING



P.T. PAINTED WOOD DECKING



BOARD & BATTEN



D1 // BUILDING ELEVATION NORTH  
1/16" = 1'-0"

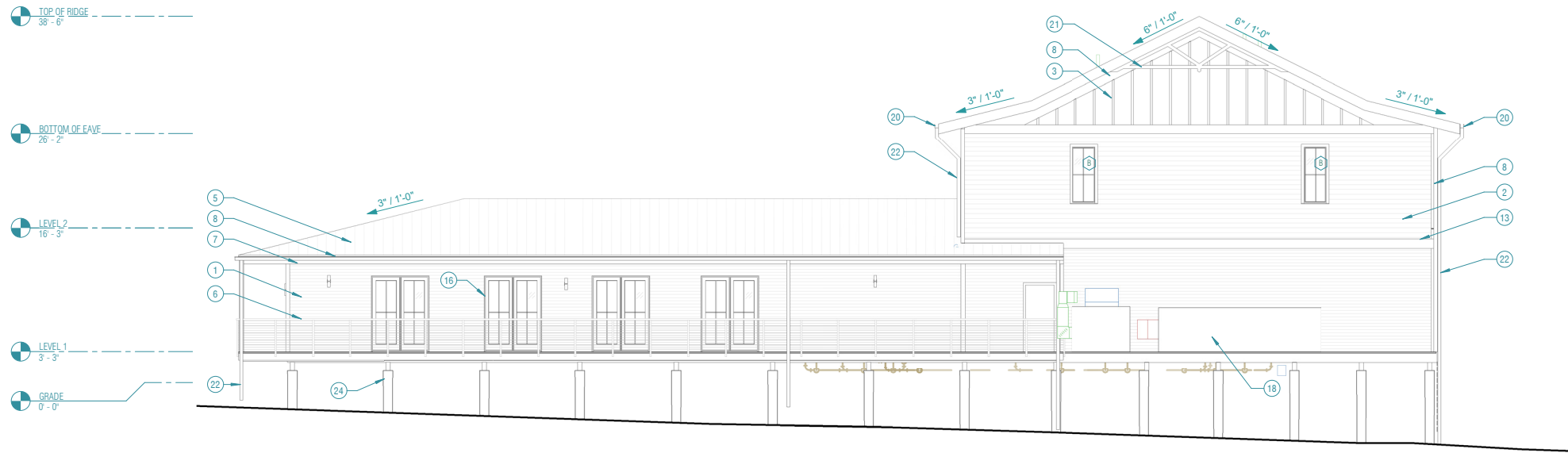
ELEVATION NOTES	
MARK	DESCRIPTION
1	FIBER CEMENT SIDING W/4" EXPOSURE
2	FIBER CEMENT SIDING W/7" EXPOSURE
3	BOARD AND BATTEN FIBER CEMENT SIDING
4	ASPHALT SHINGLE ROOF
5	EXPOSED FASTENER METAL ROOF
6	42" CABLE GUARDRAIL W/PAINTED METAL POSTS
7	EXPOSED WOOD STRUCTURAL MEMBERS
8	1x4 PTD. FIBER CEMENT TRIM, TYP.
9	WOOD COLUMN, TYP.
10	PTD. FASCIA BOARD
11	WOOD STAIR, TYP.
13	1x12 FIBER CEMENT FRIEZE BOARD, PTD.
15	WINDOW, RE: SCHEDULE, TYP.
16	PAINTED WOOD DOOR, TYP.
17	PTD. SOFFIT
18	MECHANICAL PLATFORM & EQUIPMENT
19	METAL AWNING
20	SQUARE METAL GUTTER
21	PTD. WOOD BRACKET
22	SQUARE METAL DOWNSPOUT, TYP.
23	1x6 PRESSURE-TREATED PAINTED WOOD SCREEN WITH 1/2" GAPS
24	PTD. WOOD PIER, TYP.



J1 // BUILDING ELEVATION WEST  
1/16" = 1'-0"

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	OPERATION	MATERIAL
LEVEL 1					
A	3'-0"	8'-0"	0'-0"	FIXED	PVC W/FACTORY FINISH
B	2'-6"	6'-0"	2'-6"	FIXED	PVC W/FACTORY FINISH
LEVEL 2					
B	2'-6"	6'-0"	2'-6"	FIXED	PVC W/FACTORY FINISH

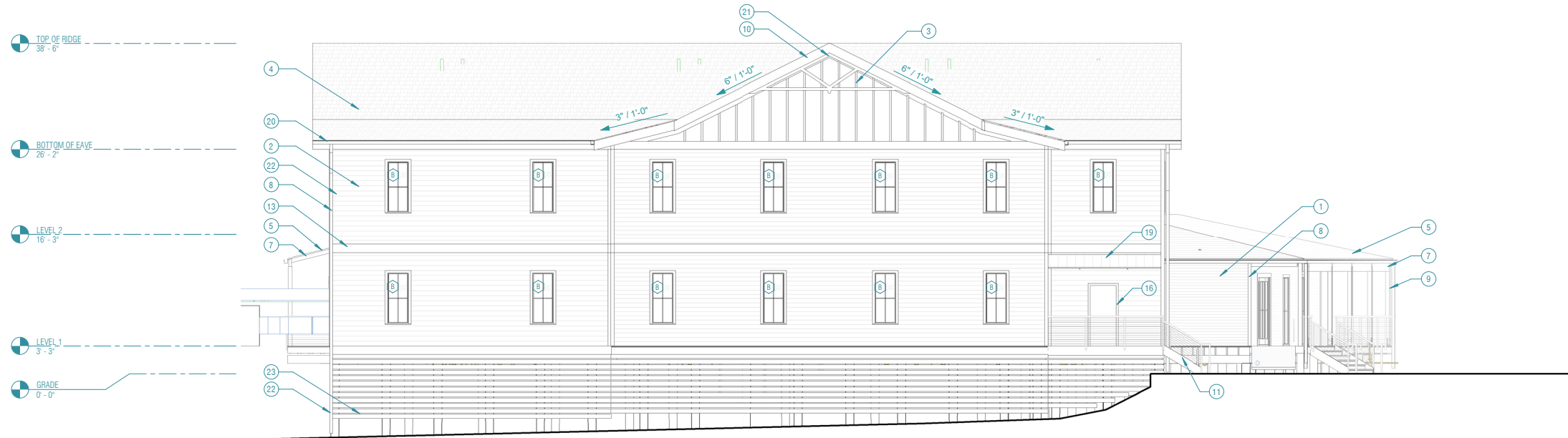




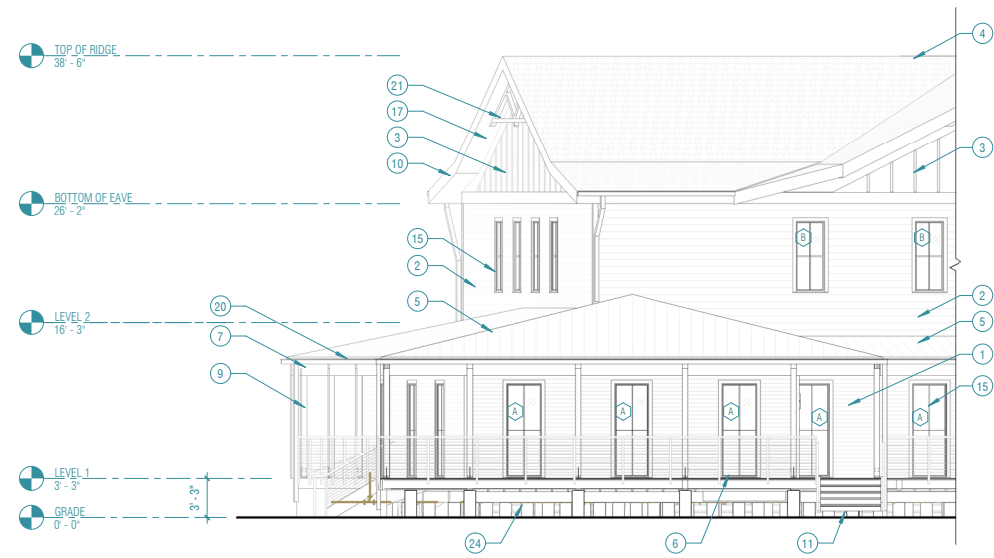
E1 // BUILDING ELEVATION SOUTH  
1/16" = 1'-0"

ELEVATION NOTES	
MARK	DESCRIPTION
1	FIBER CEMENT SIDING W/4" EXPOSURE
2	FIBER CEMENT SIDING W/7" EXPOSURE
3	BOARD AND BATTEN FIBER CEMENT SIDING
4	ASPHALT SHINGLE ROOF
5	EXPOSED FASTENER METAL ROOF
6	42" CABLE GUARDRAIL W/PAINTED METAL POSTS
7	EXPOSED WOOD STRUCTURAL MEMBERS
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16	PAINTED WOOD DOOR, TYP.
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24	PTD. WOOD PIER, TYP.

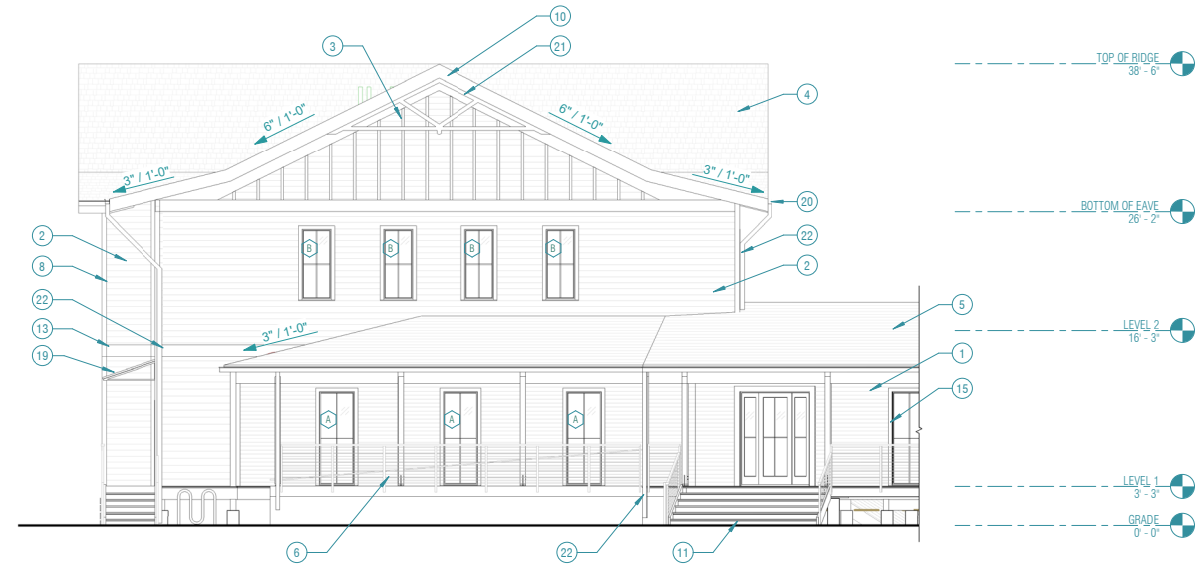
WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	OPERATION	MATERIAL
LEVEL 1					
A	3'-0"	8'-0"	0'-0"	FIXED	PVC W/FACTORY FINISH
B	2'-6"	6'-0"	2'-6"	FIXED	PVC W/FACTORY FINISH
LEVEL 2					
B	2'-6"	6'-0"	2'-6"	FIXED	PVC W/FACTORY FINISH



H1 // BUILDING ELEVATION EAST  
1/16" = 1'-0"



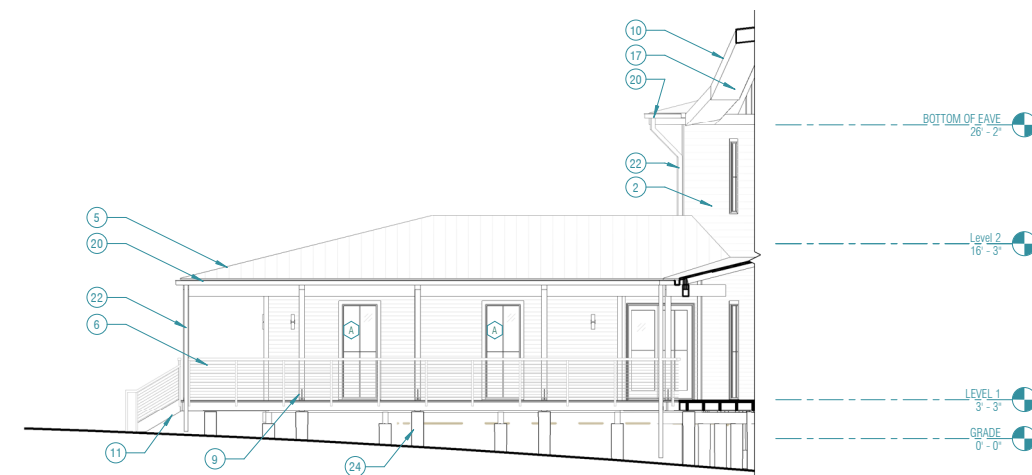
L1 // BUILDING ELEVATION WEST 2  
1/16" = 1'-0"



L9 // BUILDING ELEVATION NORTH 02  
1/16" = 1'-0"



L1 // COURTYARD ELEVATION SOUTH  
1/16" = 1'-0"



L9 // COURTYARD ELEVATION NORTH  
1/16" = 1'-0"



K1 // SITE ELEVATION NORTH





**LONGBRANCH // ABITA SPRINGS**  
BUILDING ENTRY





**LONGBRANCH // ABITA SPRINGS**  
3D VIEWS



HARDIE SIDING 7" EXPOSURE

ASPHALT SHINGLE ROOF

BOARD & BATTEN

HARDIE SIDING 4" EXPOSURE

P.T. PAINTED WOOD DECKING

METAL ROOF

