

# Town of Abita Springs

Historic Meeting Date: \_\_\_\_\_

## APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

Date: 11/07/24

### Type of Approval

- Owner
- Applicant

- New Construction
- Renovation
- Accessory Building (*not livable*)
- Ancillary Building (*livable structure*)

Other: Shed in Yard

### APPLICATION FOR PERMIT TO: *(Briefly describe project- Use separate paper if necessary)*

Construct a 15' x 20' slab on grad shed in yard. Siding and roof material to match home as closely as possible.

### APPLICANT NAME:

Email: d.roig@yamil.com

Phone: (985) 415-9759

Address: 71156 Bryan Street

### OWNER (IF DIFFERENT FROM APPLICANT):

Email: Same

Phone: \_\_\_\_\_


Address: \_\_\_\_\_

### CONTRACTOR NAME & COMPANY:

Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Signature of Owner 

Date

11.7.24

Signature of Applicant

Date

**----- Do Not Write Below this Line -----**

**7 DAYS NOTICE REQUIRED BEFORE FINAL APPROVAL OF CONSTRUCTION. IF YOU BUILD IN THE HISTORIC DISTRICT APPROVAL MUST BE GIVEN BEFORE YOUR CERTIFICATE OF OCCUPANCY WILL BE ISSUED.**

### Commissioners Initial

Ron Blitch \_\_\_\_\_

Review Date: \_\_\_\_\_

Otto Dinkelacker \_\_\_\_\_

Approved: \_\_\_\_\_

Thad Mancil \_\_\_\_\_

Andre Monnot \_\_\_\_\_

Commissioner Assigned: \_\_\_\_\_

Paul Vogt \_\_\_\_\_

Work Completed as Presented: \_\_\_\_\_

Inspected on Date: \_\_\_\_\_

APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

**SUBJECT PROPERTY**

Street Address or Legal Description: \_\_\_\_\_

Nearest Cross Streets: \_\_\_\_\_ Lot Dimensions: 90' x 150'

Work Begins: \_\_\_\_\_ Estimated Completion Date: 2/25

**RESIDENTIAL HISTORIC CHECK LIST**

SOG

**FOUNDATION**  Concrete Block  Brick  Continuous Chain Wall  Raised Slab (36" above ground)

**CRAWLSPACE**  24" Clear

**SIDING**  Vinyl  Wood  Hardie Plank

**ROOF**  Metal  Fiberglass Shingles **Slope:**  9/12 Minimum

**FRONT PORCH**  Wood  7' Minimum Depth **2/3 Minimum Front Width of House:**  Yes  No

**CHIMNEY**  Stovepipe  Brick  None

**STEPS**  Wood  Bricks **Railing:**  Wood  Spacing 4"

**HEIGHT** Height of Building: 16' 35' Maximum

**WINDOW TRIM**  Vinyl  Wood  Hardie Plank  Other

**TRIM**  Vinyl  Wood  Hardie Plank  Other

**COLUMNS**  Vinyl  Wood  Hardie Plank  Other

**DOORS**  Vinyl  Wood  Hardie Plank  Other

**SHUTTERS**  Vinyl  Wood  Hardie Plank **Must be 1/2 Width of Windows**  Yes  No

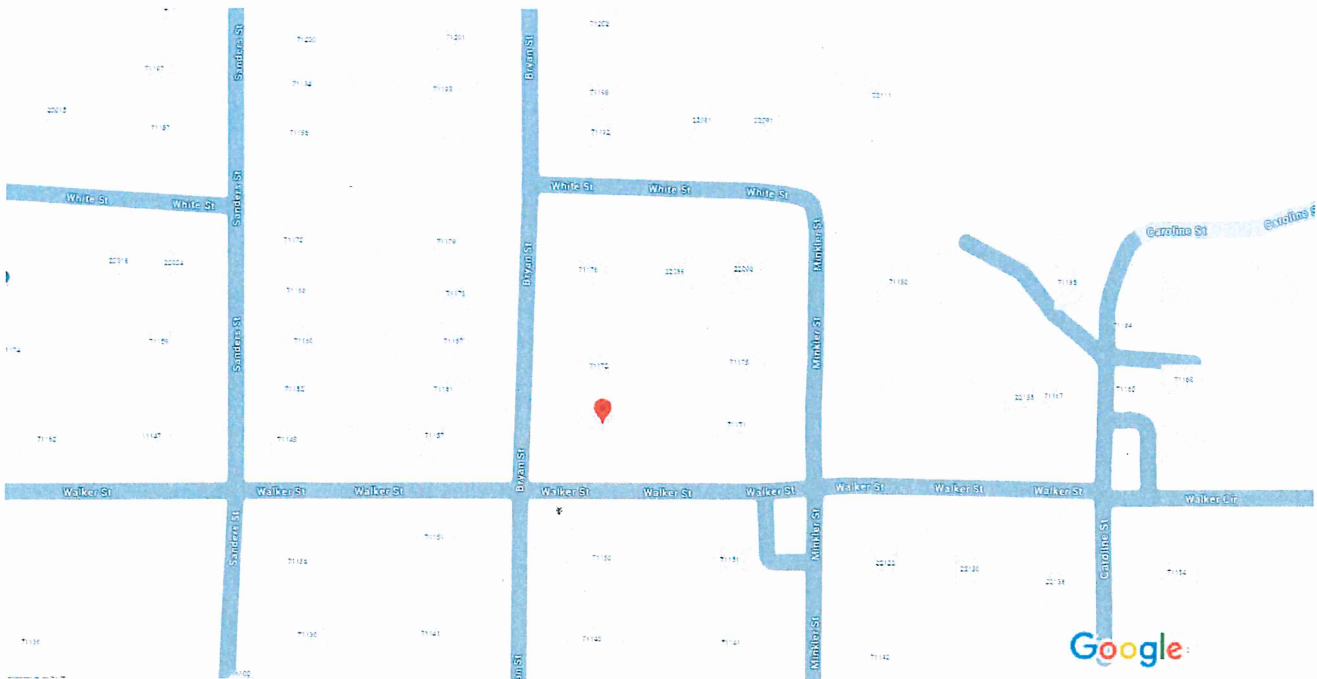
**ACCESSORY BUILDINGS**  Garage  Shed  Other

**FENCES**  Wood **Type:**  4' Picket  7' Privacy  6' Privacy with 2' Lattice

**LIGHTING** **No Fluorescent Strip Lighting or Fixtures**

**SIGNS**  Permanent  Temporary

Google Maps 71156 Bryan St



Map data ©2024 Google 50 ft



71156 Bryan St  
Building

- Directions
- Save
- Nearby
- Send to phone
- Share

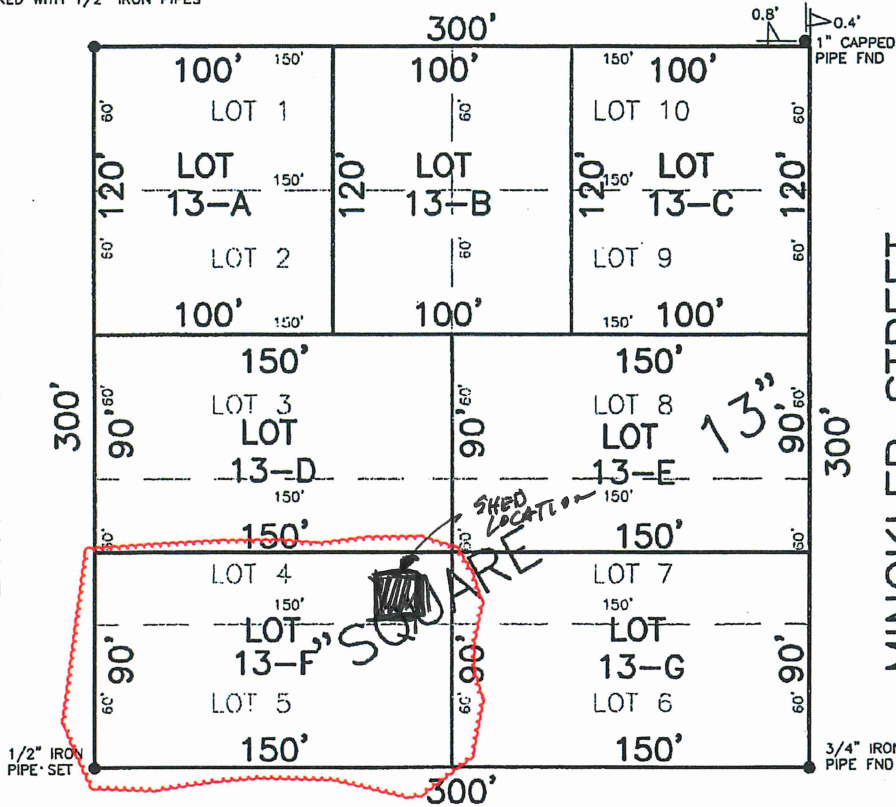
71156 Bryan St, Abita Springs, LA 70420

NOTE: ALL LOT CORNERS TO BE MARKED WITH 1/2" IRON PIPES

# WHITE STREET

BRYAN STREET

MINCKLER STREET



WALKER STREET R/W  
(NOT CONSTRUCTED)

BLDG. SETBACKS  
FRONT - 30'  
REAR - 25'  
INTERIOR LOT SIDE - 20'  
CORNER LOT SIDE - 30'

APPROVED:

*Bryon M. Gault*  
MAYOR - TOWN OF ABITA SPRINGS

*[Signature]*  
CHAIRMAN OR SEC., PLANNING COMMISSION

● DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area. it is located in Flood Zone X.  
FIRM Panel# 220 199 0002C Rev. 5-17-88

*Angela C. Sterken*  
CLERK OF COURT

02-05-1998  
DATE FILED

1594  
FILE NO.

Resubdivision of  
LOTS 1-10 • SQUARE 13 • THE TOWN OF NEW ABITA  
TOWN OF ABITA SPRINGS  
ST. TAMMANY PARISH, LOUISIANA  
INTO  
LOTS 13-A, 13-B, 13-C, 13-D, 13-E, 13-F, 13-G

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

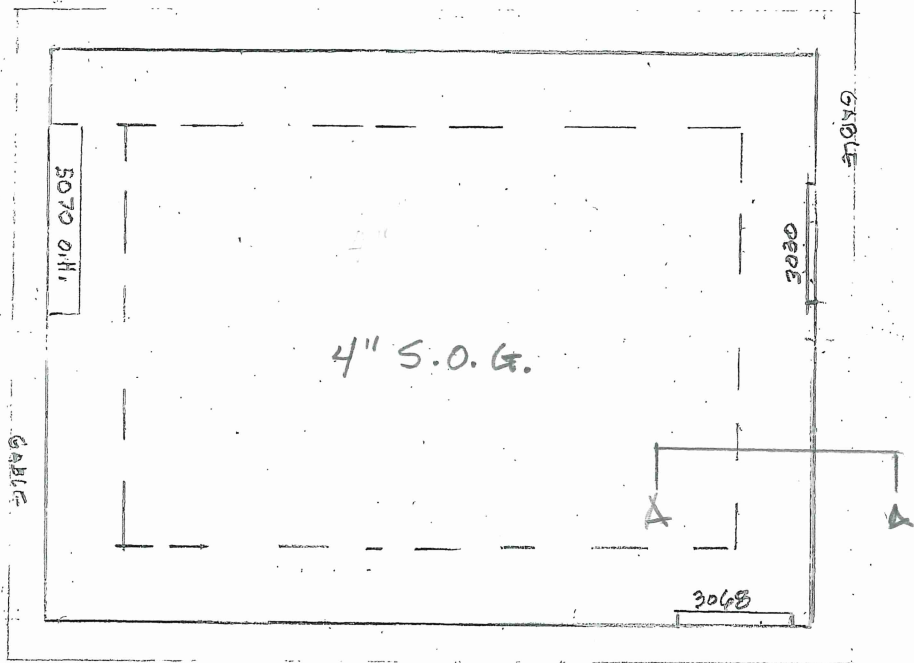
Survey Certified and Correct By  
*[Signature]*  
Randall W. Brown, P.L.S.  
Professional Land Surveyor  
Registration No. 04580

**Randall W. Brown & Associates, Inc.**  
Professional Land Surveyors  
Planners • Consultants  
228 W. Causeway App. Mandeville, LA 70448  
(504) 624-5368 FAX (504) 624-5309

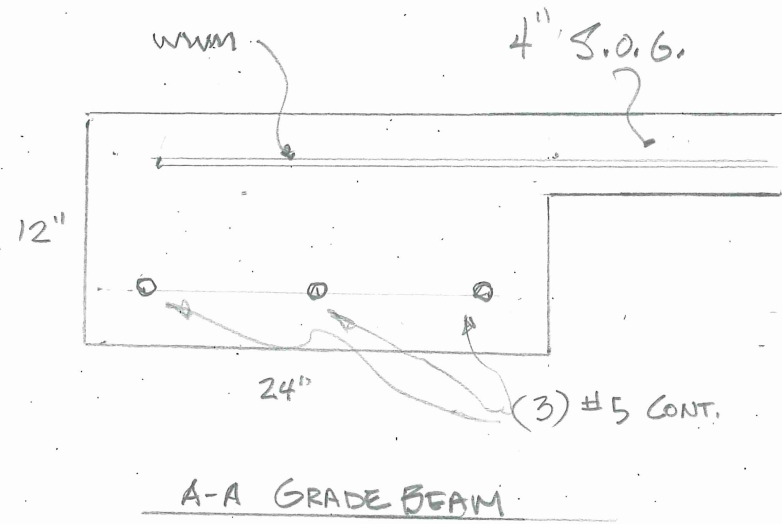
Date: JANUARY 13, 1998  
Survey No. 98023

Scale: 1"=60'±  
Drawn By: LAK  
Revised:

*Landmark*



PLAN VIEW FOUNDATION  
 WALKER STREET  
 ↓

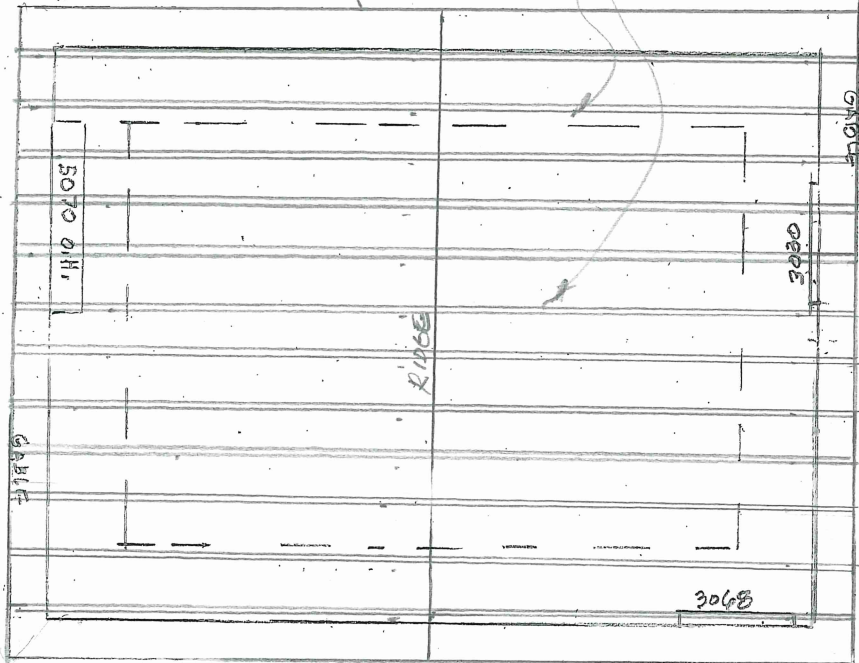


DRAWING 1

PROPERTY

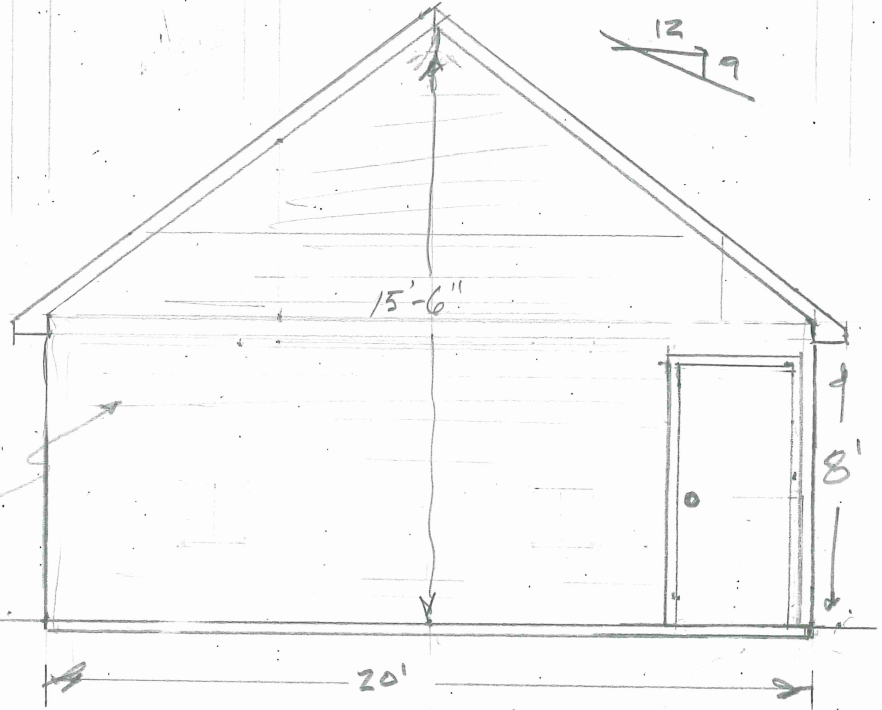
6' 6"

2x6 RAFTERS  
16" O.C.



PLAN VIEW  
WALKER STREET

6' 6"  
PROPERTY



WHITE  
SIDING TO  
MATCH HOME  
IN STYLE

N ↑

FRONT VIEW

DRAWING 2