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**PROJECT DIRECTORY**

- OWNER:  
 LONGBRANCH RECOVERY AND WELLNESS  
 21516 LA-36  
 ABITA SPRINGS, LA 70420  
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- ARCHITECT  
 CICADA, LLC  
 4933 MAGAZINE STREET, SUITE 202  
 NEW ORLEANS, LA 70115  
 T: (504) 208-1171
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 1515 POYDRAS STREET, SUITE 1020  
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- CIVIL ENGINEER :  
 MARAIS CONSULTANTS  
 900 CAMP STREET  
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**ZONING SUMMARY**

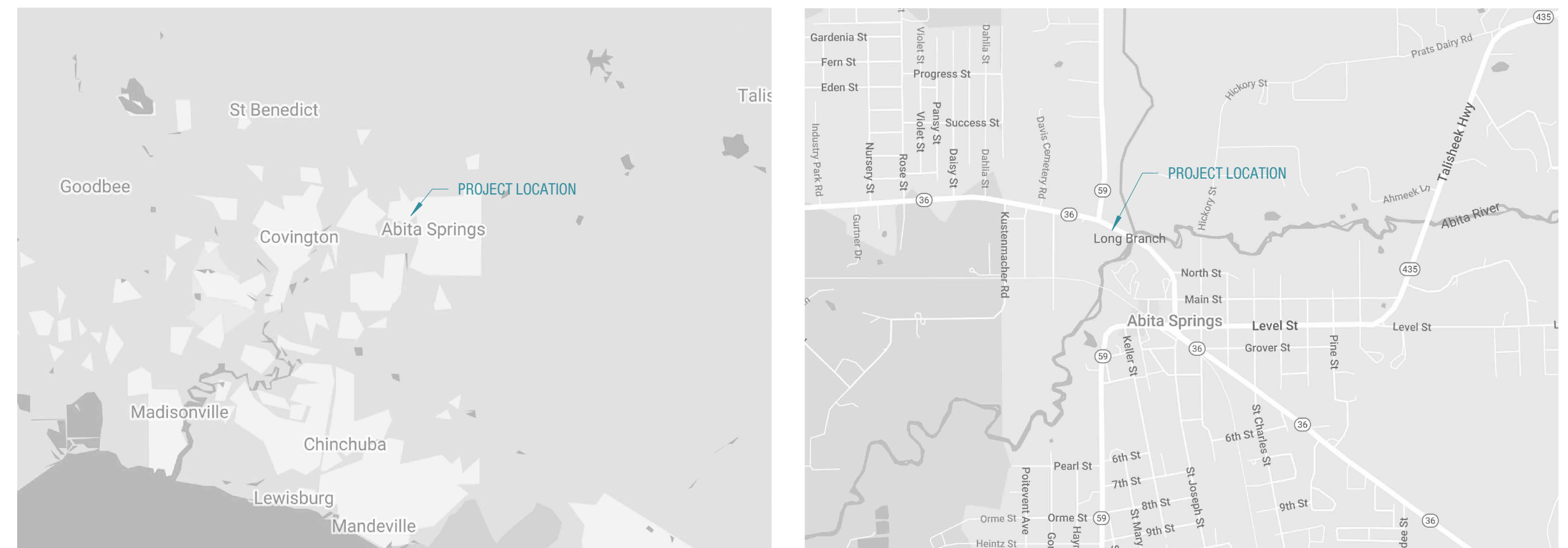
ADDRESS	21516 LA-36, Abita Springs, LA 70420
SQUARE	7
LOTS	1-5
LOT AREA	APPROX. 2.85 ACRES
FLOOD ZONE	*AE*
STORMWATER PLAN REQUIRED	
FUTURE CHARACTER AREA	DOWNTOWN // NEIGHBORHOOD CENTER
CULTURAL DISTRICT	MIDTOWN CULTURAL DISTRICT
HISTORIC LANDMARK STATUS	NOT FOR THIS SCOPE OF WORK
BULK & YARD	MIN LOT: X MAX TOTAL FLOOR AREA: X MAX BLDG HEIGHT: X MIN PERMEABLE OPEN SPACE: X FRONT YARD: X SIDE YARD: X CORNER SIDE YARD: X REAR YARD: X
PROPOSED USES	IBC 2021 OCCUPANCY CLASSIFICATION: I-1, CONDITION 1 NFPA 101 OCCUPANCY CLASSIFICATION: RESIDENTIAL BOARD AND CARE
GROSS SF	
PARKING	

**PROJECT DESCRIPTION**

NEW ADDITION ADDED TO AN EXISTING CAMPUS FOR AN ADULT RECOVERY CENTER.  
 SCOPE OF WORK INCLUDES A NEW PARKING LOT, LANDSCAPING AND TWO-STORY BUILDING.

SHEET LIST	
1 - GENERAL	
G0.01	TITLE SHEET
G0.02	GENERAL NOTES, ABBREVIATIONS, SYMBOLS
G0.03	SURVEY
7 - DEMOLITION	
D1.01	DEMO // SITE PLAN
8 - ARCHITECTURAL	
A0.00	PROPOSED SITE PLAN
A0.01	PARKING PLAN
A0.02	LANDSCAPE PLAN
A1.01	FIRST FLOOR CONCEPT PLAN
A1.02	SECOND FLOOR CONCEPT PLAN
A1.03	ROOF PLAN
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS
A2.03	SITE ELEVATION
A3.01	BUILDING SECTIONS

**VICINITY MAPS (NTS)**



**LONGBRANCH ABITA**

**EMILY MEYERS**  
 21516 LA-36, Abita Springs, LA 70420

PROJECT NO:	123027
PHASE:	90% SCHEMATIC DESIGN
ISSUED FOR:	
DATE:	03/22/2024

TITLE SHEET

**GO.01**

**CICADA**

GENERAL NOTES

0. CODES:

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL CODES AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
2. APPLICABLE CODES:
A. 2015 IBC
B. 2015 NFPA
C. 2006 INTERNATIONAL MECHANICAL CODE
D. 2009 FUEL GAS CODE
E. 2013 LOUISIANA STATE PLUMBING CODE
F. 2011 NATIONAL ELECTRIC CODE
G. 2010 ADAAG/ADA

3. IN CASE OF CONFLICT BETWEEN THE APPLICABLE CODES AND STANDARDS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK.

1. GENERAL:

- 1. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT TO BE INCORPORATED IN THE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (AIA, AISI, ETC.) WHERE APPLICABLE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGES, COLLAPSE, DISTORTION, AND OFF ALIGNMENT ACCORDING TO APPLICABLE CODES AND STANDARDS.
3. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES.
4. AN ACCURATE AND COMPLETE FINAL SURVEY, MADE BY A LICENSED SURVEYOR, SHALL BE SUBMITTED AFTER COMPLETION OF WORK SHOWING THE LOCATION OF ANY NEW BUILDING AND / OR ANY EXTENSION TO AN EXISTING BUILDING SHOWING ELEVATION OF FIRST FLOOR, FINISHED GRADES OF OPEN SPACES, ESTABLISHED CURB LEVEL, LOCATION OF OTHER STRUCTURE ON LOT, LOCATION AND BOUNDARIES OF LOT, APPLICATION FOR CERTIFICATE OF OCCUPANCY.
5. DO NOT SCALE DRAWINGS FOR DIMENSIONS! CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK.
6. ALL MEANS OF EGRESS TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, TYP.
7. IN THE EVENT A CONSTRUCTION DRAWING CONTAINS AN ITEM OR ITEMS REFERENCING ANOTHER DISCIPLINE'S DRAWINGS, SUCH AS "REFER TO STRUCTURAL" OR "SEE CIVIL", THE CONTRACTOR SHALL HAVE ALLOWED FOR THE PROVISION OF THAT ITEM WHETHER SHOWN OR INDICATED IN THE OTHER DISCIPLINE OR NOT.

2. TYPE OF CONSTRUCTION / OCCUPANCY:

- 1. ALL NEW CONSTRUCTION SHALL BE CONSTRUCTED TO MEET OR EXCEED THE MINIMUM REQUIREMENTS FOR TYPE 1C, PROTECTED, NON-COMBUSTIBLE CONSTRUCTION AS DEFINED BY THE CODE.
2. THE BUILDING IS MIXED USE OCCUPANCY GROUP J-2 (RESIDENTIAL) "CLASS A" MULTIPLE DWELLING AS PER SECTION 4.8 MULTIPLE DWELLING LAW, GROUP A (WORKROOM), GROUP B-1 (LOADING DOCK), GROUP B-2 (STORAGE), GROUP C (MERCANTILE), GROUP D-2 (MEP & COMMERCIAL KITCHEN SPACES), GROUP E (OFFICE), GROUP F-1b (ARENA ASSEMBLY), GROUP F-2 (OUTDOOR ASSEMBLY SPACES), GROUP F-3 (LOCKER ROOM), AND GROUP F-4 (RESTAURANT).

3. DEMOLITION, UTILITIES & EXCAVATION:

- 1. LOCATE EXISTING UTILITY LINES INCLUDING: ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, STEAM, FIBER OPTIC, ETC. NOTE THAT THE SITE AND PUBLIC PROPERTY CONTAINS UNDERGROUND UTILITY LINES. THE DRAWINGS SHOW DIAGRAMMATICALLY THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE. BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT, OR LOCATION. VERIFY IN FIELD PRIOR TO CONSTRUCTION OR DEMOLITION.
2. EXERCISE CAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES. RECORD LOCATION OF DISCONNECT AND CAP AS NECESSARY, AND REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT.
3. THE PROJECT REQUIRES DEMOLITION OF SOME AREAS OF EXISTING CONSTRUCTION. EXERCISE CAUTION TO PROTECT ALL AREAS OF EXISTING CONSTRUCTION THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION. REPAIR ANY AND ALL AREAS THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION THAT ARE DAMAGED DURING THE DEMOLITION PROCESS.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS, AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, DISTRICT, STATE, AND LOCAL REQUIREMENTS AND ORDINANCES.

4. COORDINATION:

- 1. LOCATION OF ALL EXISTING CONSTRUCTION SHOWN IN THE DRAWINGS AND THREE-DIMENSIONAL FILES IS APPROXIMATE BASED ON EXISTING SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE START OF WORK.
2. SHOULD THE SPECIFICATIONS HAVE NO SPECIFIC PROVISIONS OR DESCRIPTIONS ON PARTICULAR MATERIALS OR KIND OF GOODS TO BE USED IN ANY PLACE, THEN IT SHALL BE THE DUTY OF THE CONTRACTOR TO SUBMIT A REQUEST FOR INTERPRETATION. THE CONTRACTOR SHALL BE DEEMED TO HAVE INCLUDED THE HIGHEST QUALITY OF MATERIAL AND MEANS OF COMPLETING THE WORK IN THE CONTRACT.
3. STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, LIGHTING, SECURITY, FIRE PROTECTION, LANDSCAPE, SIGNAGE & OTHER DRAWINGS AND MODELS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS AND MODELS, BUT TOGETHER WITH THE ARCHITECTURAL DRAWINGS AND MODELS FORM RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, LIGHTING, SECURITY, PLUMBING, FIRE PROTECTION AND LANDSCAPE WORK. SHOULD THERE BE A DISCREPANCY DISCOVERED BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTANT DISCIPLINE'S DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. CONTRACTOR SHALL NOT, EITHER KNOWINGLY OR IF HE SHOULD HAVE KNOWN BASED ON INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS, INSTALL WORK IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS. ANY SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THIS PROJECT.
4. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR WITH THEMSELVES, THE ARCHITECT WILL DETERMINE WHICH CONFLICTING REQUIREMENT GOVERNS. CONTRACTOR SHALL VERIFY THE DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AND CONSTRUCTION AT THE SITE, AND SHALL REPORT TO THE ARCHITECT, IN WRITING, DISCREPANCIES BETWEEN ACTUAL EXISTING CONDITIONS AND THE DRAWINGS AND COMPUTER DATABASE FOR THE ARCHITECT'S DECISION AND INSTRUCTIONS BEFORE PROCEEDING WITH WORK AFFECTED BY SUCH DISCREPANCIES. IF ANY DISCREPANCY OR CONFLICT OCCURS BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR ERRORS EXIST IN ANY OF THE DRAWINGS, COMPUTER DATABASE, OR SPECIFICATIONS, THE SITUATION SHALL BE REPORTED TO THE ARCHITECT IN WRITING AND THE ARCHITECT WILL ISSUE A CLARIFICATION.
5. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE MEA, BSA, OR U.L. LABELS.

- 6. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THESE PROJECTS.
7. VALVES, CONTROLS, AND TERMINATIONS SHALL BE POSITIONED FOR SAFE, DIRECT, AND EASY ACCESS. PIPING AND OUTWORK SHALL BE INSTALLED FOR CONVENIENT FUTURE ADDITIONS AND MODIFICATIONS.
8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING OR MISCELLANEOUS EQUIPMENT.
9. CONTRACTOR'S MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT OR IMPAIR FLOOR-TO-FLOOR FIRE SEPARATION WHILE THE BUILDING IS OCCUPIED.

- 10. CONTRACTOR SHALL VERIFY ALL CONCRETE AND EXISTING OPENINGS IN THE FIELD PRIOR TO THE FABRICATION OF DOORS AND FRAMES.
11. CONTRACTOR TO COORDINATE THE EXACT DIMENSIONS, SIZES, AND POSITIONS OF OPENINGS IN SLABS AND WALLS AND COORDINATE PLUMBING AND MECHANICAL DRAWINGS FOR STRUCTURAL BEAMS TO BE SLEEVED PRIOR TO COMMENCING STRUCTURAL WORK.
12. SPECIFIC NOTES OR KEYNOTES ON DRAWINGS APPLY TO SIMILAR CONDITIONS ON OTHER DETAILS ON ALL DRAWINGS UNLESS NOTED OTHERWISE.

- 13. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING THE WORK. MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS, GEOMETRY, OR CONDITIONS AND SHALL BE MADE PART OF THE WORK AT NO ADDITIONAL COST TO THIS PROJECT.
14. DRAWINGS/DETAILS IDENTIFY THE GENERAL MATERIALS TO BE USED IN THE CONSTRUCTION. SEE SPECIFICATION FOR SPECIFIC MATERIAL TYPES AND LOCATIONS TO BE USED.

5. CEILING SYSTEMS:

- 1. COORDINATE THE PLACEMENT OF CEILING ELEMENTS WITH TRADES. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION REQUIREMENTS, REVIEW THE CONDITIONS WITH THE ARCHITECT PRIOR TO PROCEEDING. ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THIS PROJECT.
2. ALIGN CEILING DEVICES (SPEAKERS, SPRINKLERS, GRILLES, REGISTERS, ETC.) WITH THE CENTERLINE OF LIGHTING FIXTURES, UNLESS NOTED OTHERWISE. FINAL LOCATION TO BE APPROVED BY THE ARCHITECT.

6. ACCESS PANELS:

- 1. PROVIDE ACCESS PANELS AT WALL AND CEILING LOCATIONS FOR ELECTRICAL, PLUMBING, AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, COUNTER FIRE SHUTTERS, OR OTHER DEVICES AS REQUIRED BY THE WORK AND MAINTENANCE, AND APPLICABLE EVEN IF ACCESS PANELS ARE NOT SHOWN ON CONTRACT DOCUMENTS. ACCESS PANELS THAT ARE SHOWN ON THE DRAWINGS SHALL BE INSTALLED IN LOCATIONS AS SHOWN AND DIMENSIONED, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION INDICATING THE LOCATIONS OF ALL ACCESS PANELS.

7. FIRE PROTECTION:

- 1. THE BUILDING IS/ISN'T A FULLY SPRINKLED STRUCTURE
2. CONSULT THE FIRE AUTHORITY HAVING JURISDICTION REGARDING ACCESS ROADS, GATES IN PERIMETER FENCES, AND LOCATION OF FIRE HYDRANTS, FIRE DEPARTMENT PUMPER CONNECTIONS, PORTABLE FIRE EXTINGUISHERS, AND FIRE PROTECTION DURING CONSTRUCTION. PROVIDE REQUIRED ACCESS AND EQUIPMENT.
3. OBTAIN PERMITS FOR A COMPLETE FIRE PROTECTION SYSTEM REQUIRED BY LOCAL AUTHORITIES AND FIRE DEPARTMENTS.
4. FIRE-RATED CONSTRUCTION INCLUDING WALLS, FLOORS, ROOFS, SHAFTS, COLUMNS, ETC. SHALL CONFORM IN EVERY PARTICULAR WITH LOCAL AGENCIES' CUSTOM DESIGNS WHICH COMBINE COMPONENTS FROM DIFFERENT APPROVED DESIGNS, BUT HAVE NOT BEEN TESTED AS A COMPLETE ASSEMBLY WILL NOT BE ACCEPTABLE WITHOUT WRITTEN APPROVAL FROM THE LOUISIANA STATE FIRE MARSHALL.
5. FIRE AND SMOKE DAMPERS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF LASFM, AND PROJECT SPECIFICATIONS. CONSULT SPECIFICATION FOR SPECIFIC TYPES OF FIRE DAMPERS TO BE USED IN SPECIFIC LOCATIONS.
6. FIRE EXTINGUISHERS: WHETHER SHOWN OR NOT, PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT THE BUILDING IN ACCORDANCE WITH IBC 2015

8. EXITS:

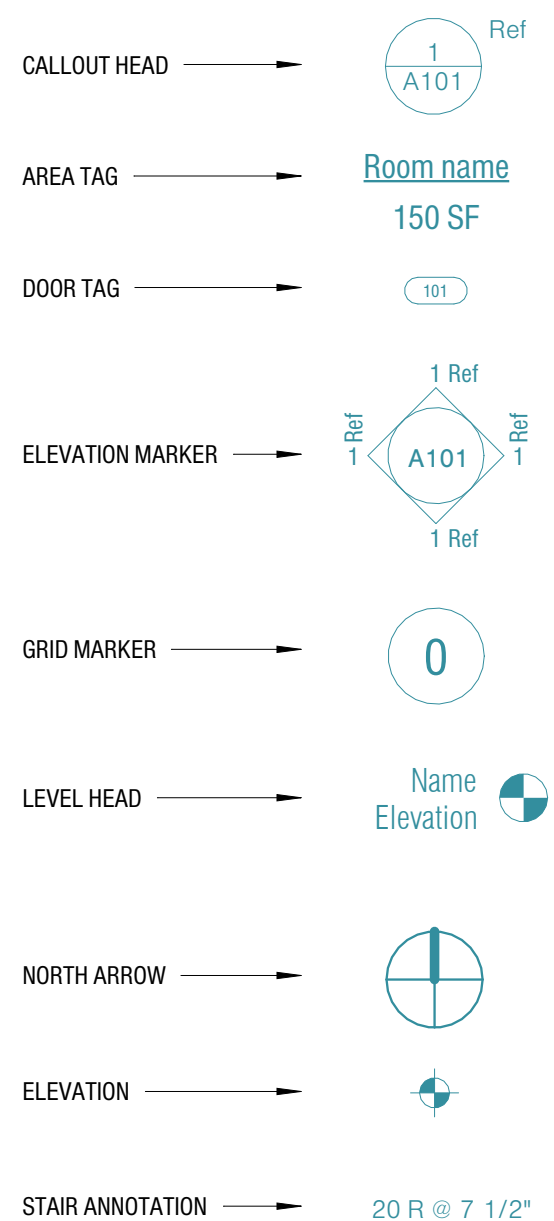
- 1. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
2. EXIT DOORS AND DOORS PROVIDING ACCESS TO EXITS SHALL BE SELF CLOSING DOORS
3. PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS
4. WHERE REQUIRED, LOCATION OF EVERY EXIT ON EVERY FLOOR SHALL BE CLEARLY INDICATED BY EXIT SIGNS, PLACED, IF REQUIRED, AT AN ANGLE WITH THE EXIT OPENING. INSTALL DIRECTIONAL SIGNS TO SERVE AS WAY FINDING FROM ALL PORTIONS OF THE CORRIDOR OR FLOOR
5. EGRESS ILLUMINATION AND POWER SOURCE FOR ILLUMINATION SHALL BE PROVIDED AS REQUIRED PER CODE.
6. DOOR JAMBS OR STOPS AND THE DOOR THICKNESS WHEN OPEN, SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN HALF OF THE HALLWAY.
7. THE MINIMUM NOMINAL WIDTH OF CORRIDOR AND EXIT DOOR OPENINGS SHALL BE THIRTY-SIX INCHES, EXCEPT THAT WHERE A DOOR OPENING IS DIVIDED BY MULLIONS, THE MINIMUM NOMINAL WIDTH OF EACH SUCH OPENING SHALL BE THIRTY-TWO INCHES.

UPDATE WITH PROJECT-SPECIFIC INFORMATION

ABBREVIATIONS

Table of abbreviations including AC (AIR CONDITIONING), AD (AREA DRAIN), ADAAG (AMERICANS WITH DISABILITIES ACT ARCHITECTURAL GUIDELINES), ADJ (ADJUST, ADJUSTABLE, ADJACENT), AFF (ABOVE FINISHED FLOOR), ALUM (ALUMINUM), APPROX (APPROXIMATE), APT (APARTMENT), ARCH (ARCHITECTURAL), BOARD, BUILDING, BLOCK, BLOCKING, BEDROOM, BASEMENT, BRITISH THERMAL UNITS, CABINET, CATCH BASIN, CARPET, CONTRACTOR FURNISHED, CONTRACTOR FURNISHED OWNER INSTALLED, CENTERLINE, CEILING, CONCRETE MASONRY UNIT, CONCRETE, CONTRACTOR, CORRIDOR, CARPET, CASEMENT, CERAMIC TILE, DOUBLE DEPARTMENT, DETAIL, DRINKING FOUNTAIN, DIAMETER, DIAMETER, DIFFUSER, DOWN, DOOR, DOWNSPOUT, DRY STANDPIPE DRAWING, EACH, EXPOSED CONSTRUCTION, EXPANSION JOINT, ELEVATION, ELEVATOR, EXHAUST, EXPANSION, EXPOSED EXTERIOR, EXTINGUISHER, FIRE ALARM, FRESH AIR FLOOR DRAIN, FIRE DEPARTMENT CONNECTION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISHED FLOOR ELEVATION, FIXTURES, FURNISHINGS & EQUIPMENT, FLOOR, FIRE LINE, FLASHING, FLOORING, FLEXIBLE, FLANGE, FLASHING, FLOORING, FLUORESCENT, FINISHED OPENING, FACE OF CONCRETE, FACE OF FINISH, FACE OF STUDS, FIREPROOF, FRAME, FIREPROOF, FOOT, FURNITURE, GAUGE, GAGE, GALVANIZED, GENERAL CONTRACTOR, GROUND FACE, GROUND FAULT INTERRUPTED, GLASS FIBER REINFORCED CONCRETE, GLASS BLOCK, GYPSUM BOARD, HIGH, HOSE BIB, HANDICAPPED, HEADER, HARDWARE, HEXAGONAL, HANGER, HEIGHT, HOLLOW METAL, HORIZONTAL, HEATING, HEATER, HEATING, VENTILATING & AIR CONDITIONING, HOT WATER HEATER, HOT WATER SUPPLY, INSIDE DIAMETER, INVERT ELEVATION, INSULATION, INTERMEDIATE, INVERT, JANITOR, JOINT, 1000 POUNDS, LENGTH, LABORATORY, LABOR, LAMINATE, LAMINATED, LAVATORY, LABORATORY, LINEAR FOOT, LINE LOAD, LANDING, LINTEL, LIGHTING, LOUVER, LIGHT WEIGHT CONCRETE, MECHANICAL, MEDIUM, METAL, MANUFACTURER, MANHOLE, MINIMUM, MIRROR, MISCELLANEOUS, MOLDING, MASONRY OPENING, MULLION, NATIONAL ELECTRICAL CODE, NEUTRAL, NOT IN CONTRACT, NOISE REDUCTION COEFFICIENT, NOT TO SCALE, ON CENTER, OUTSIDE DIAMETER, OFFICE, OPPOSITE HAND, OPPOSITE, PAINT, PLASTIC LAMINATE, POUNDS PER CUBIC FOOT, PORTLAND CEMENT PLASTER, PERFORATE, PARTITION, PLUMBING, PLYWOOD, PLUMBING, PREFABRICATED, POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, POUNDS PER SQUARE INCH GAGE, PAINT, POINT, PART, POTENTIAL TRANSFORMER, POST-TENSIONED CONCRETE, PAINTED, PAPER TOWEL DISPENSER, PLYWOOD, QUALITY, QUANTITY, QUARRY TILE, QUART, QUARTER, QUANTITY, RADIUS, RADIATOR, RUBBER, RUBBER BASE, RESILIENT BASE, ROOF DRAIN, ROUND, RECEPTACLE DISTRIBUTION PANEL, REFERENCE, REINFORCEMENT, OR REINFORCE, RESILIENT, ROOM, ROUGH OPENING, RUBBER TILE, RIGHT, REDWOOD, SOUTH, SOLID CORE, SEALED CONCRETE, SCHEDULE, SOLID CORE WOOD, SOLID CORE, SECTION, SQUARE FOOT, STRUCTURAL GLAZING GASKET, SHEATHING, SHOWER, SIGNAL, SIMILAR, SKYLIGHT, SPECIFICATION, SPEAKER, SPRINKLER, SOUND TRANSMISSION CLASS, STANDARD, STORAGE, STRUCTURAL, SUPPLEMENTARY, SWITCH, SQUARE YARD, SYMMETRICAL, TOP AND BOTTOM, TONGUE & GROOVE, TELEPHONE, TEMPORARY, THICK, THRESHOLD, TOP OF, TOP OF CONCRETE, TOP OF PARAPET, TOPE OF STEEL, TOP OF WALL, TOP OF PAVEMENT, THERMIST, THROUGH, TACKBOARD, TOLERANCE, TELEVISION, TYPICAL, TERRAZZO, UNDERWRITERS' LABORATORIES, UNFINISHED, UNLESS NOTED OTHERWISE, UNLESS OTHERWISE NOTED, UTILITY, VINYL COMPOSITION TILE, VENTILATE, VESTIBULE, VINYL FABRIC, VINYL FOAM GLAZING TAPE, VERIFY IN THE FIELD, VINYL TILE, VENT THROUGH ROOF, WITH, WITHOUT, WOOD BASE, WATERCLOSET, WOOD, WINDOW, WATER HEATER, WATERPROOF, WEIGHT

CICADA SYMBOL LEGEND



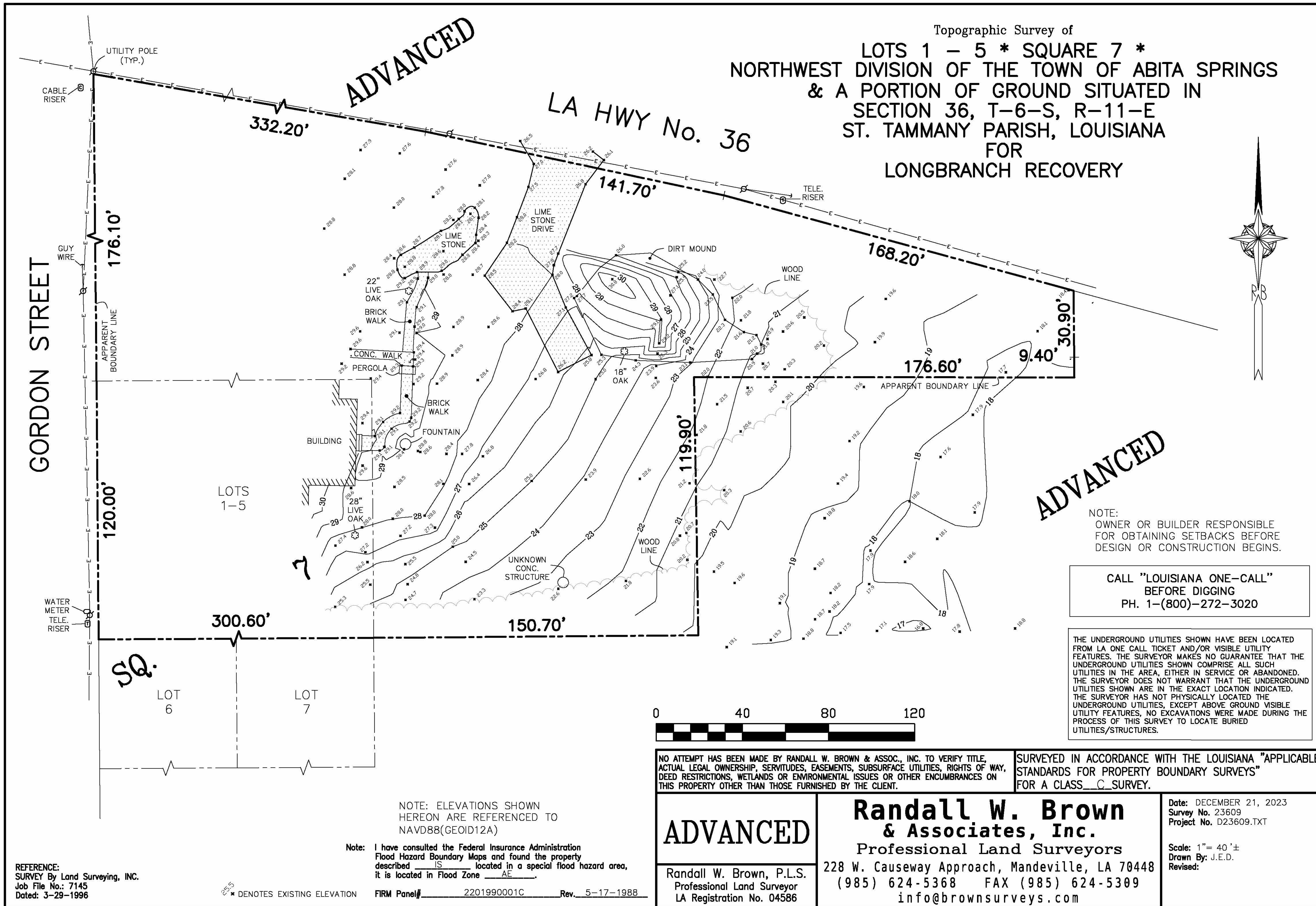
CICADA

LONGBRANCH ABITA
EMILY MEYERS
21516 LA-36, Abita Springs, LA 70420

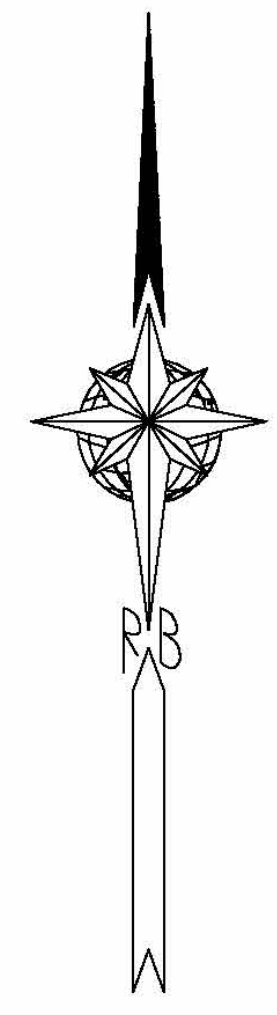
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GENERAL NOTES, ABBREVIATIONS, SYMBOLS

GO.02



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LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO:	123027
PHASE:	90% SCHEMATIC DESIGN
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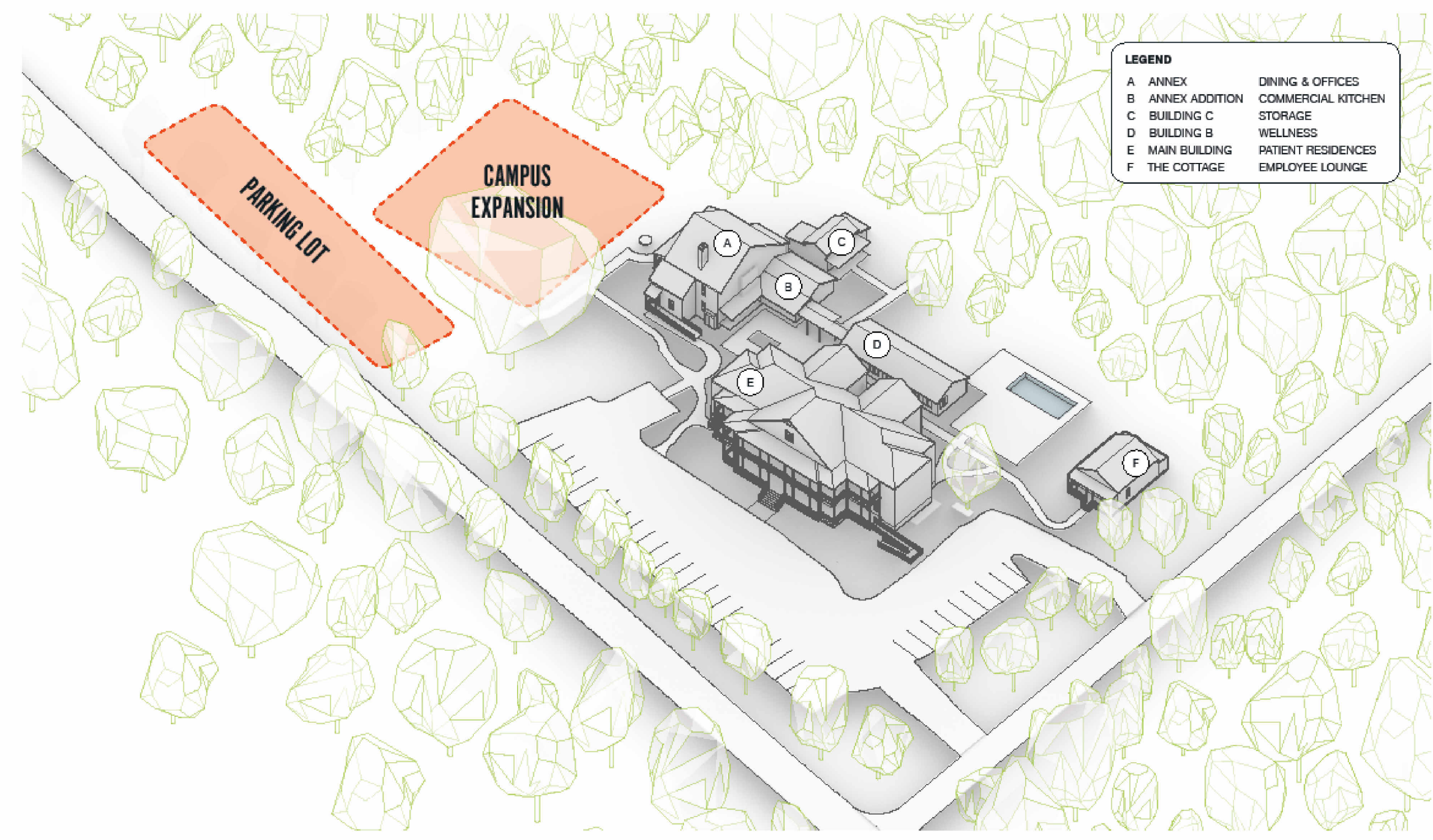
SURVEY

GO.03

CICADA

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D2 // DIAGRAMMATIC SITE AXON  
DRAWING NOT TO SCALE

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**SITE PLAN LEGEND**

PROPERTY LINE	---
EXISTING TREES	○
EXISTING VEHICULAR AND PEDESTRIAN CIRCULATION	□
NEW VEHICULAR AND PEDESTRIAN CIRCULATION	□
POOL OR WATER FEATURE	□

**SITE PLAN KEYNOTES**

1	EXISTING PARKING AREA
2	EXISTING PARKING ACCESS DRIVE
3	EXISTING PLANTING BED
4	EXISTING TRASH STORAGE

L2 // SITE PLAN  
1" = 30'-0"

CICADA

LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO: 123027  
PHASE: 90% SCHEMATIC DESIGN  
ISSUED FOR:  
DATE: 03/22/2024

PROPOSED SITE PLAN

AO.00

**PARKING NOTES**

PARKING REQUIREMENTS PER ABITA SPRINGS MASTER PLAN TABLE 2-2:

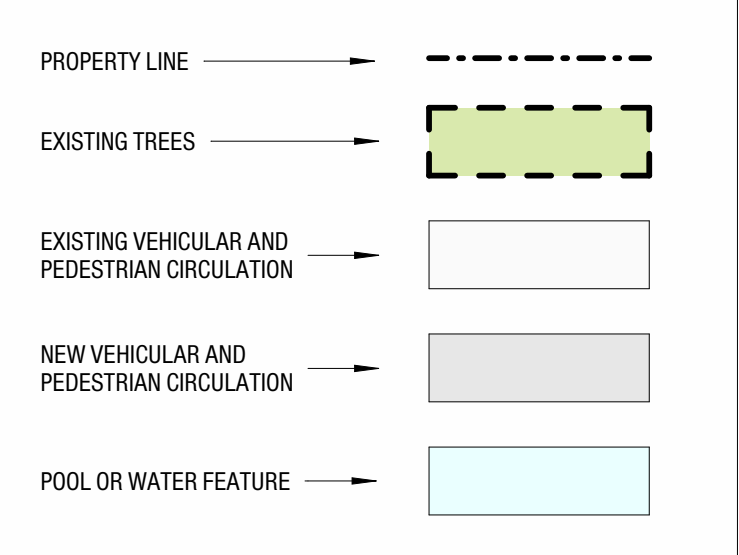
USE	PARKING REQUIREMENT	PROPOSED	PARKING SPACES REQUIRED
LODGING OFFICE	1/GUEST ROOM 2/1,000 SF	12 GUEST ROOMS 950 SF OFFICE	12 PARKING SPACES 1 PARKING SPACE
TOTAL:			13 PARKING SPACES REQUIRED

ADA PARKING REQUIREMENT PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN:

TOTAL # PARKING SPACES PROVIDED IN A PARKING LOT 1 TO 25	MIN # ACCESSIBLE PARKING SPACES 1 PARKING SPACE

NOTE: TWO ACCESSIBLE PARKING SPACES MAY SHARE AN ACCESS AISLE WITH THE ACCESS AISLE BETWEEN THE TWO SPACES (WITH THE EXCEPTION OF ANGLED PARKING).  
NOTE: CROSS SLOPES SHALL BE 1.5% MAX

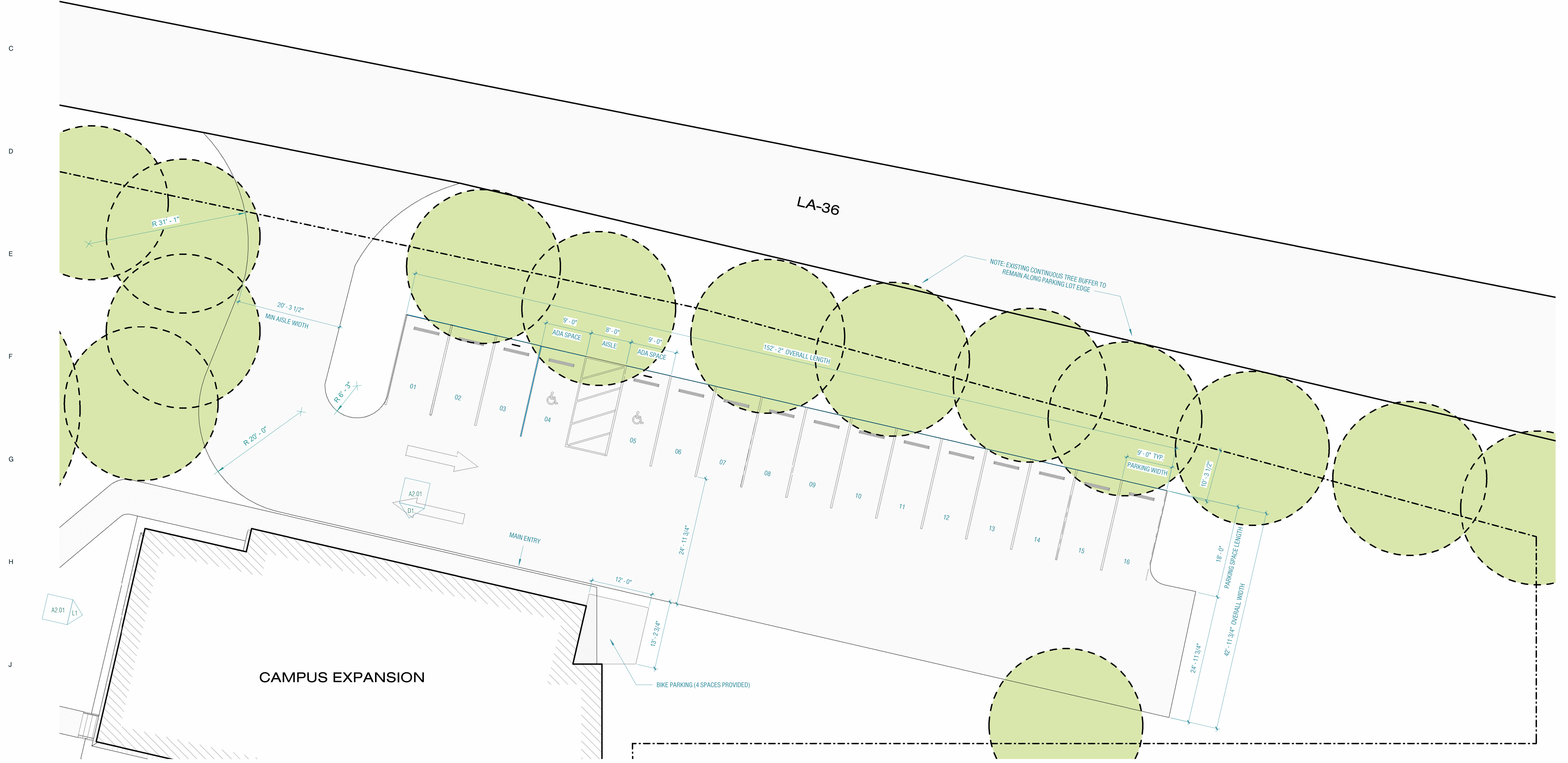
**SITE PLAN LEGEND**



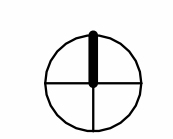
VIEW OF LANDSCAPE BUFFER, FACING EAST



VIEW OF LANDSCAPE BUFFER, FACING WEST



K2 // PARKING PLAN  
1" = 10'-0"



LONGBRANCH ABITA

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PARKING PLAN

**A0.01**

CICADA

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

**LIGHTING NOTES**

- MAX LIGHTING TEMPERATURE SHALL NOT EXCEED 2,700K
- LIGHT FIXTURES LOCATED WITHIN PARKING LOT SHALL NOT EXCEED 30 FT IN HEIGHT
- LIGHT FIXTURES LOCATED ALONG PERIMETER EDGE OF PARKING AREA WITHIN 50 FT OF A PROPERTY LINE SHALL NOT EXCEED 16 FT IN HEIGHT
- LIGHT FIXTURES LOCATED ALONG PEDESTRIAN WALKWAYS SHALL NOT EXCEED 10 FT IN HEIGHT
- ENERGY EFFICIENT EXTERIOR LAMPS TO BE INCLUDED THROUGHOUT

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K  
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LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO:	123027
PHASE:	90% SCHEMATIC DESIGN
ISSUED FOR:	
DATE:	03/22/2024

LANDSCAPE PLAN

**A0.02**

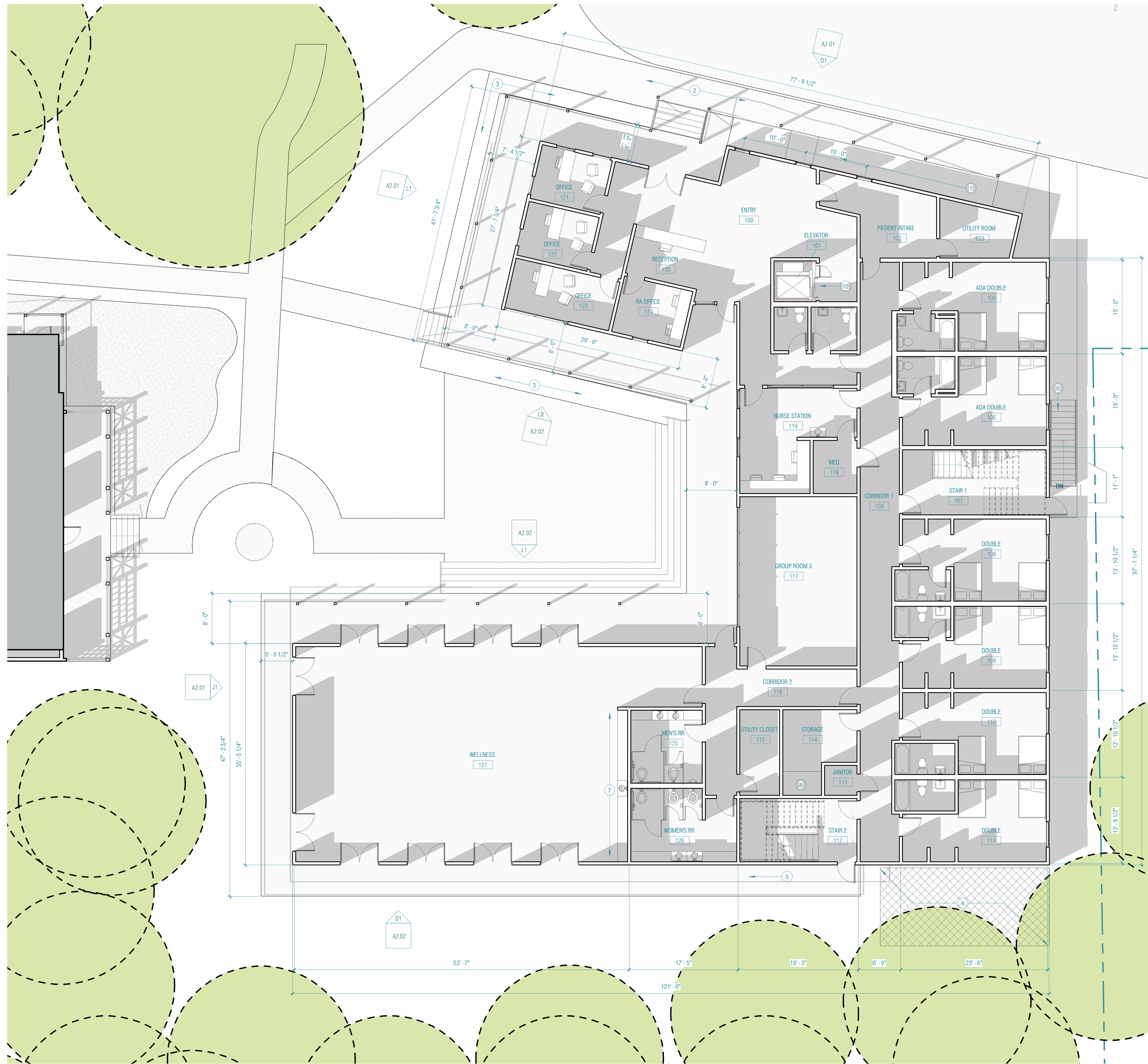
L1 // LANDSCAPE & LIGHTING PLAN  
1" = 10'-0"



CICADA

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

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### LEVEL 1 ROOM SCHEDULE

NUMBER	NAME	NET AREA	COMMENTS
100	ENTRY	777 SF	
101	ELEVATOR	44 SF	
102	PATIENT INTAKE	173 SF	
103	UTILITY ROOM	96 SF	
104	CORRIDOR 1	553 SF	
105	ADA DOUBLE	324 SF	
106	ADA DOUBLE	324 SF	
107	STAIR 1	240 SF	
108	DOUBLE	302 SF	
109	DOUBLE	302 SF	
110	DOUBLE	301 SF	
111	DOUBLE	301 SF	
112	STAIR 2	190 SF	
113	JANITOR	25 SF	
114	STORAGE	132 SF	
115	UTILITY CLOSET	88 SF	
116	CORRIDOR 2	235 SF	
117	GROUP ROOM 3	508 SF	
118	MED	60 SF	
119	NURSE STATION	247 SF	
120	RECEPTION	79 SF	
121	OFFICE	102 SF	
122	OFFICE	102 SF	
123	OFFICE	136 SF	
124	RA OFFICE	102 SF	
125	MEN'S RR	133 SF	
126	WOMEN'S RR	188 SF	
127	WELLNESS	1942 SF	
Total		8007 SF	

### PLAN NOTES

Note Number	Note Text
1	ADA RAMP
2	NEW CONCRETE SIDEWALK
3	PLANTER BED
4	MECHANICAL PLATFORM
5	EGRESS BALCONY
6	EGRESS STAIR TO GRADE, WALKWAY AT GRADE TO LEAD TO PARKING AREA
7	BUILT IN STORAGE / SINK
8	(2) WASHER / DRYER
9	STANDING SEAM METAL ROOF
10	ADDITIONAL DOOR TO BE PROVIDED AT HOISTWAY OPENING AND MEET THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN IBC 2021, SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL.

CICADA

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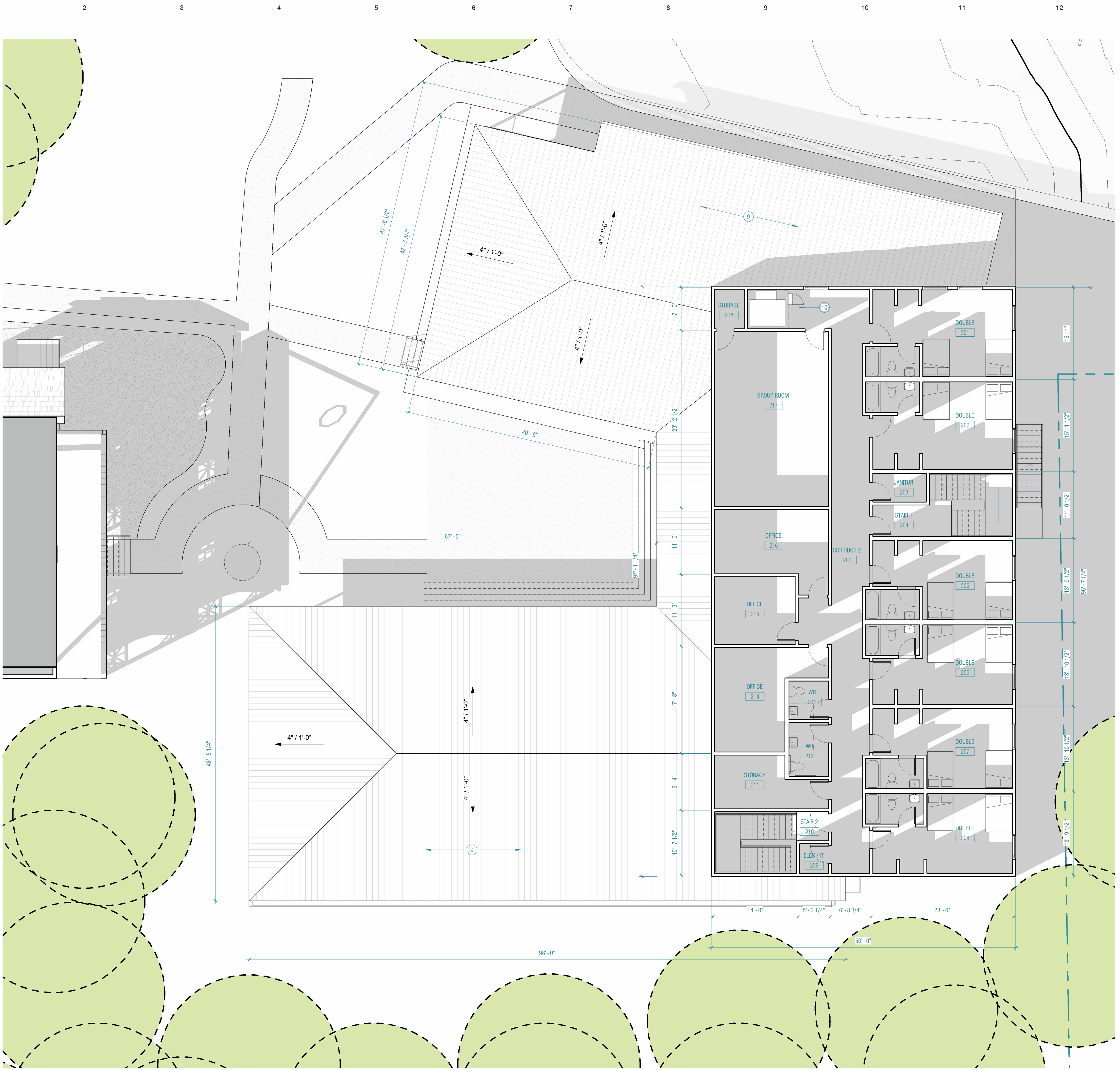
PROJECT NO:	123027
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FIRST FLOOR CONCEPT PLAN

1 // LEVEL 1 CONCEPTUAL PLAN  
1/8" = 1'-0"

A1.01

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13 14 15 16

LEVEL 2 ROOM SCHEDULE			
NUMBER	NAME	NET AREA	COMMENTS
200	CORRIDOR 2	686 SF	
201	DOUBLE	331 SF	
202	DOUBLE	330 SF	
203	JANITOR	42 SF	
204	STAIR 1	190 SF	
205	DOUBLE	300 SF	
206	DOUBLE	302 SF	
207	DOUBLE	301 SF	
208	DOUBLE	301 SF	
209	ELEC/IT	23 SF	
210	STAIR 2	162 SF	
211	STORAGE	137 SF	
212	WR	57 SF	
213	WR	41 SF	
214	OFFICE	235 SF	
215	OFFICE	148 SF	
216	OFFICE	215 SF	
217	GROUP ROOM	539 SF	
218	STORAGE	33 SF	
Total:		4374 SF	

PLAN NOTES	
Note Number	Note Text
1	ADA RAMP
2	NEW CONCRETE SIDEWALK
3	PLANTER BED
4	MECHANICAL PLATFORM
5	EGRESS BALCONY
6	EGRESS STAIR TO GRADE, WALKWAY AT GRADE TO LEAD TO PARKING AREA
7	BUILT IN STORAGE / SINK
8	(2) WASHER / DRYER
9	STANDING SEAM METAL ROOF
10	ADDITIONAL DOOR TO BE PROVIDED AT HOISTWAY OPENING AND MEET THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN IBC 2021, SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL.

CICADA

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SECOND FLOOR CONCEPT PLAN

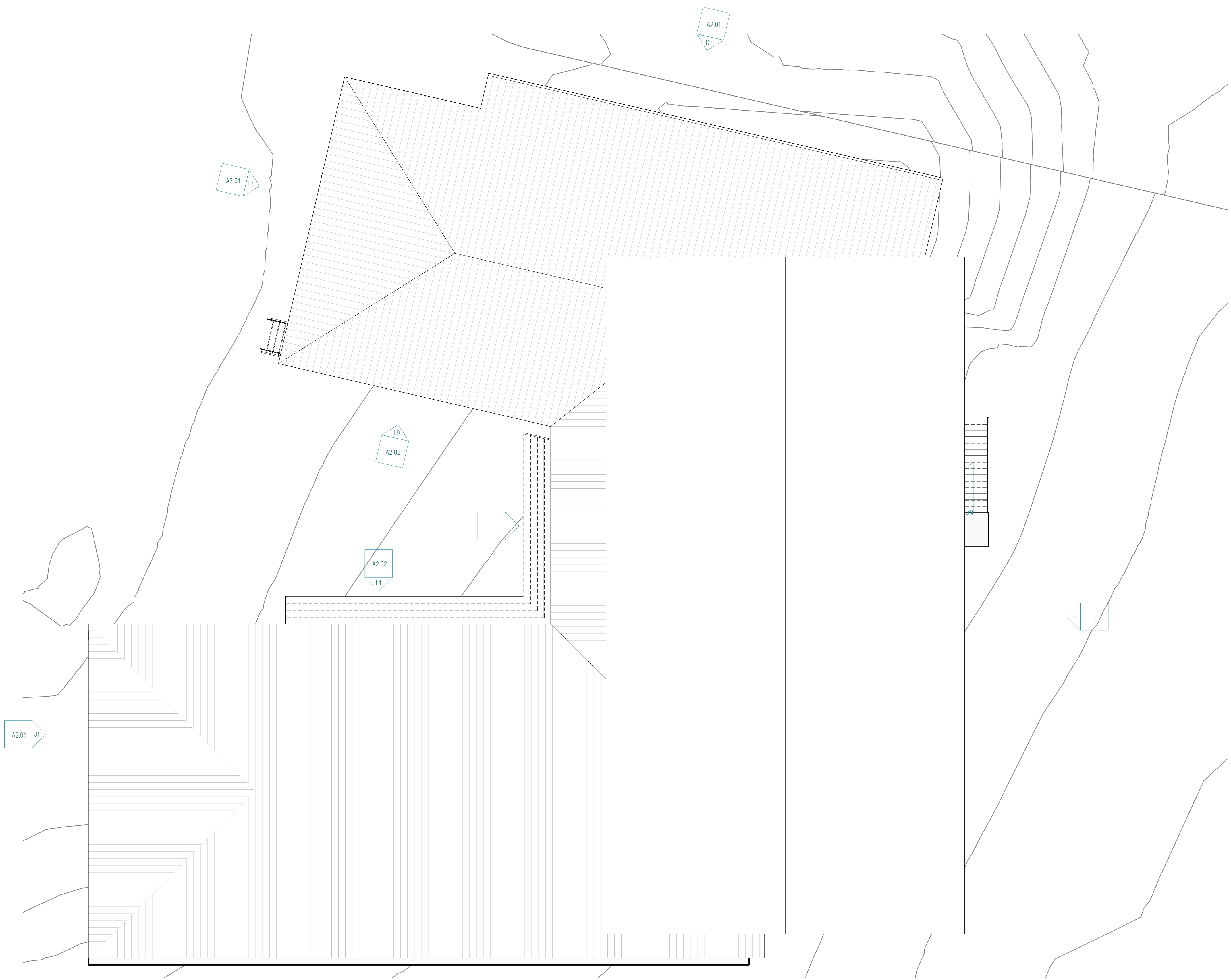
L1 // LEVEL 2 CONCEPTUAL PLAN  
1/8" = 1'-0"

A1.02



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

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**K1 // ROOF PLAN**  
1/8" = 1'-0"

**LONGBRANCH ABITA**

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ROOF PLAN

**A1.03**

**CICADA**

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A

BOE  
54' - 2 13/16"

ADDITION LVL 2  
44' - 3 13/16"

Level 1  
31' - 3 13/16"

GRADE  
28' - 0 13/16"



D1 // BUILDING ELEVATION NORTH  
1/8" = 1'-0"

D

E

BOE  
54' - 2 13/16"

ADDITION LVL 2  
44' - 3 13/16"

Level 1  
31' - 3 13/16"

GRADE  
28' - 0 13/16"



J1 // BUILDING ELEVATION WEST  
1/8" = 1'-0"

H

J

ADDITION LVL 2  
44' - 3 13/16"

Level 1  
31' - 3 13/16"

GRADE  
28' - 0 13/16"



L1 // BUILDING ELEVATION WEST 2  
1/8" = 1'-0"

L

CICADA

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BUILDING ELEVATIONS

A2.01

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A

BOE  
54' - 2 13/16"

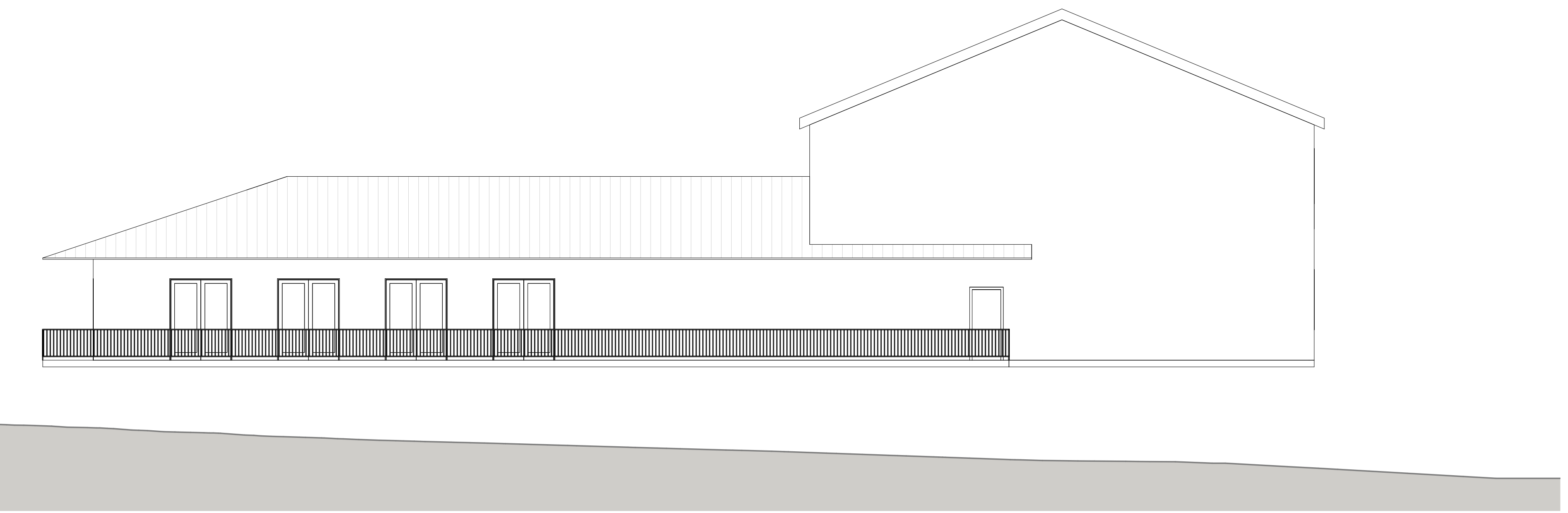
B

ADDITION LVL 2  
44' - 3 13/16"

C

Level 1  
31' - 3 13/16"

GRADE  
28' - 0 13/16"



D

D1 // BUILDING ELEVATION SOUTH  
1/8" = 1'-0"

E

F

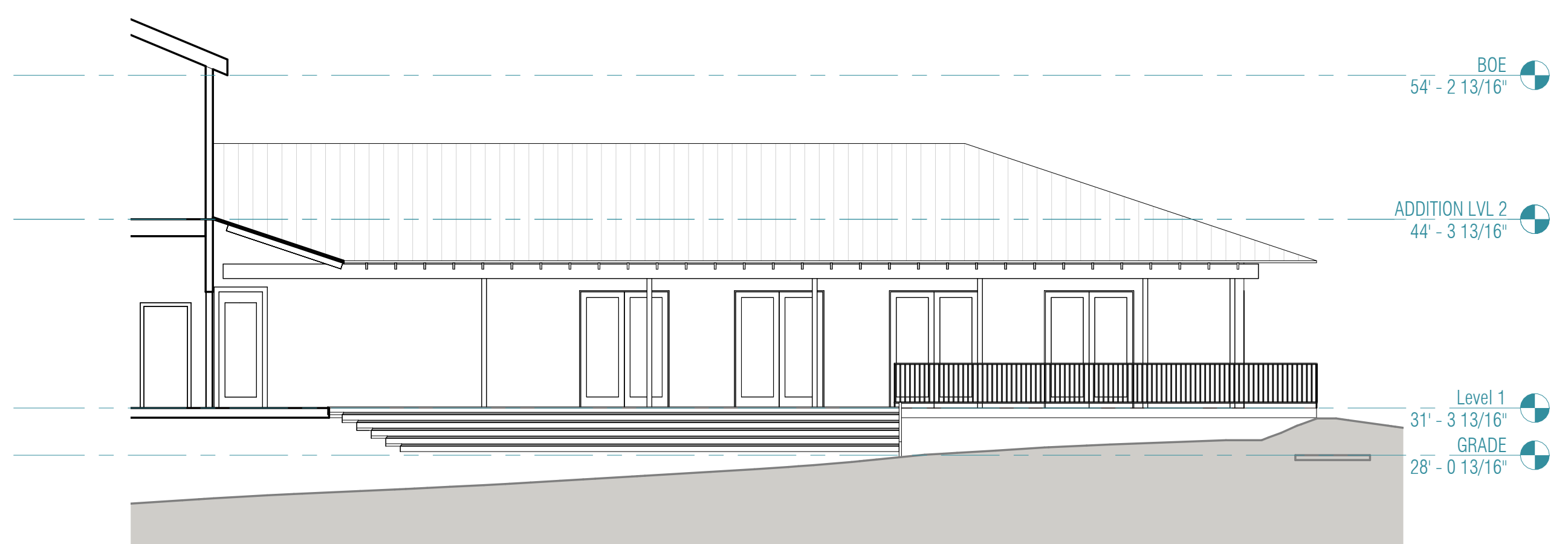
G

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J

K

L



L1 // COURTYARD ELEVATION SOUTH  
1/8" = 1'-0"



L9 // COURTYARD ELEVATION NORTH  
1/8" = 1'-0"

CICADA

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BUILDING ELEVATIONS

A2.02

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A

B

C

D

E

F





G

H

J

K

L

-  BOE  
54' - 2 13/16"
-  ADDITION LVL 2  
44' - 3 13/16"
-  Level 1  
31' - 3 13/16"
-  GRADE  
28' - 0 13/16"



**K1 // SITE ELEVATION NORTH**  
1/16" = 1'-0"

# CICADA

**LONGBRANCH ABITA**

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SITE ELEVATION