

Town of Abita Springs

GUIDE TO FILING AN APPLICATION FOR HISTORIC COMMISSION REVIEW

BUILDINGS / STRUCTURES / SHEDS / CARPORT

*The deadline to be added to the Historic agenda is 10 days before the meeting date.
Dates can be found at <https://www.townofabitasprings.com/historic-meetings>*

REQUIRED DOCUMENTS

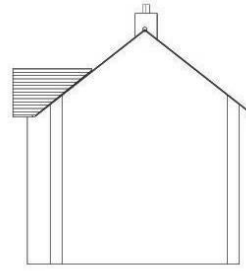
- Completed Historic Certificate of Appropriateness Application
- Google Map with location marked showing surrounding streets (*Example below*)
- Street View of Property (*Example below*)
- Site Plan (with Dimensions of Setbacks)
- Floor Plans (with Dimensions)
- Elevations of Front, Rear and Both Sides (*Example below*)



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



GOOGLE MAP LOCATION



STREET VIEW

Town of Abita Springs

Historic Meeting Date: 12/14/21

APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

Date: 12/6/21

Type of Approval

- Owner
- Applicant

- New Construction
- Renovation
- Accessory Building (not livable)
- Ancillary Building (livable structure)

Other: ADDITION TO EXIST. HOUSE + SEPARATE NEW CONSTRUCTION BLDG.

APPLICATION FOR PERMIT TO: (Briefly describe project- Use separate paper if necessary)

This application for approval of an addition (approx. 400 SF) to an existing historic residence, approval for new construction of garage/carport building w/ art studio, music studio + office, and approval for 8' tall privacy fence @ utilities on west side + interior side yard.

APPLICANT NAME: Kelly Colley

Email: kelly.colley@gmail.com

Phone: 504 559 1682

Address: 22014 2nd St. Abita Springs, LA 70420

OWNER (IF DIFFERENT FROM APPLICANT): N/A

Email:

Phone:

Address:

CONTRACTOR NAME & COMPANY: Paul Baudean Construction, LLC

Email: paul.baudean7@gmail.com

Phone: 985 237 9167

Address: 78605 Fauchaux Rd. Folsom, LA 70437

Signature of Owner

12/6/21

Date

Signature of Applicant

12/6/21

Date

Do Not Write Below this Line

7 DAYS NOTICE REQUIRED BEFORE FINAL APPROVAL OF CONSTRUCTION. IF YOU BUILD IN THE HISTORIC DISTRICT APPROVAL MUST BE GIVEN BEFORE YOUR CERTIFICATE OF OCCUPANCY WILL BE ISSUED.

Commissioners Initial

Ron Blitch _____

Review Date: _____

Otto Dinkelacker _____

Approved: _____

Thad Mancil _____

Andre Monnot _____

Commissioner Assigned: _____

Paul Vogt _____

Work Completed as Presented: _____

Inspected on Date: _____

APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

SUBJECT PROPERTY

Street Address or Legal Description: 22014 2ND ST.

Nearest Cross Streets: ST. MARY ST.

Lot Dimensions: 120' x 120'

Work Begins: JANUARY 2022

Estimated Completion Date: TBD

RESIDENTIAL HISTORIC CHECK LIST @ GARAGE

FOUNDATION Concrete Block Brick Continuous Chain Wall Raised Slab (36" above ground)

CRAWLSPACE 24" Clear @ ADDITION EXIST. HIGH SLOPE IS 6/12

SIDING Vinyl Wood EXIST. Hardie Plank EXIST. LOW SLOPE IS 2.5/12 ALL NEW TO MATCH EXIST.

ROOF Metal Fiberglass Shingles Slope: 8/12 Minimum NEW TO MATCH EXIST.

N/A FRONT PORCH Wood EXISTING 7' Minimum Depth 2/3 Minimum Front Width of House: Yes No

N/A CHIMNEY Stovepipe Brick None EXISTING

STEPS Wood Bricks Railing: Wood Spacing 4" IF NEEDED, WILL DEPEND ON # OF STEPS / RAKING OF GRADE, ETC. OR STEPS ABOVE RAISED SLAB

HEIGHT Height of Building: 24'-8" 35' Maximum

WINDOW TRIM Vinyl Wood Hardie Plank Other

TRIM Vinyl Wood Hardie Plank Other

COLUMNS Vinyl Wood Hardie Plank Other

DOORS Vinyl Wood Hardie Plank Other

N/A SHUTTERS Vinyl Wood Hardie Plank Must be 1/2 Width of Windows Yes No

ACCESSORY BUILDINGS Garage Shed Other ART STUDIO, MUSIC STUDIO, OFFICE, GARAGE, CARPORT

FENCES Wood Type: 4' Picket 7' Privacy 6' Privacy with 2' Lattice

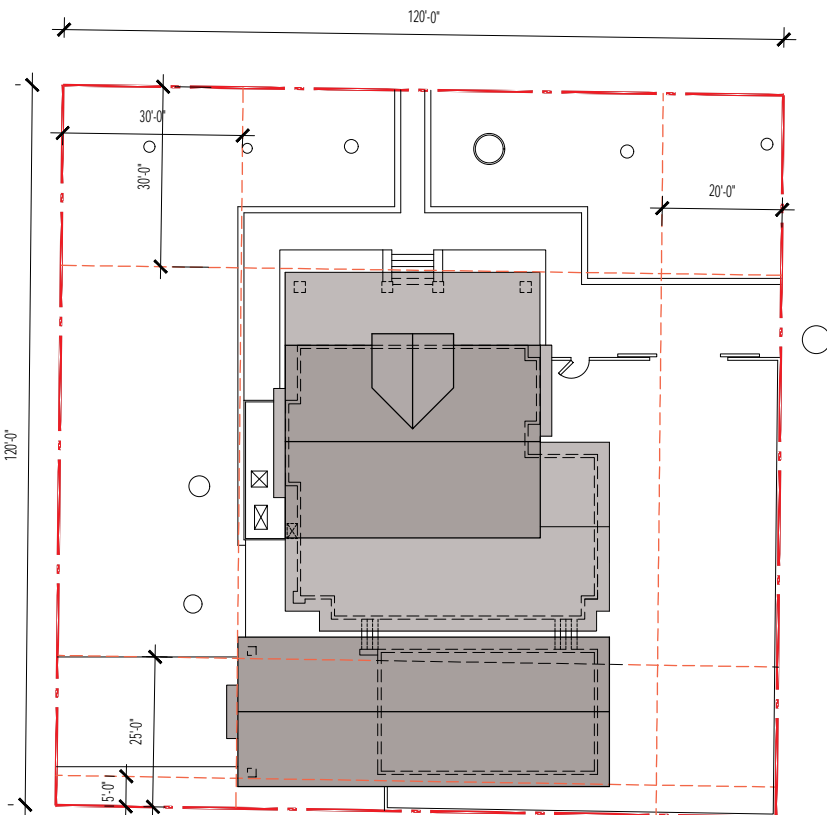
N/A LIGHTING No Fluorescent Strip Lighting or Fixtures

N/A SIGNS Permanent Temporary

OWNER INFORMATION:
 22014 2ND STREET
 KELLY COLLEY
 504-559-1682
 KELLY.COLLEY@GMAIL.COM



GOOGLE MAP LOCATION

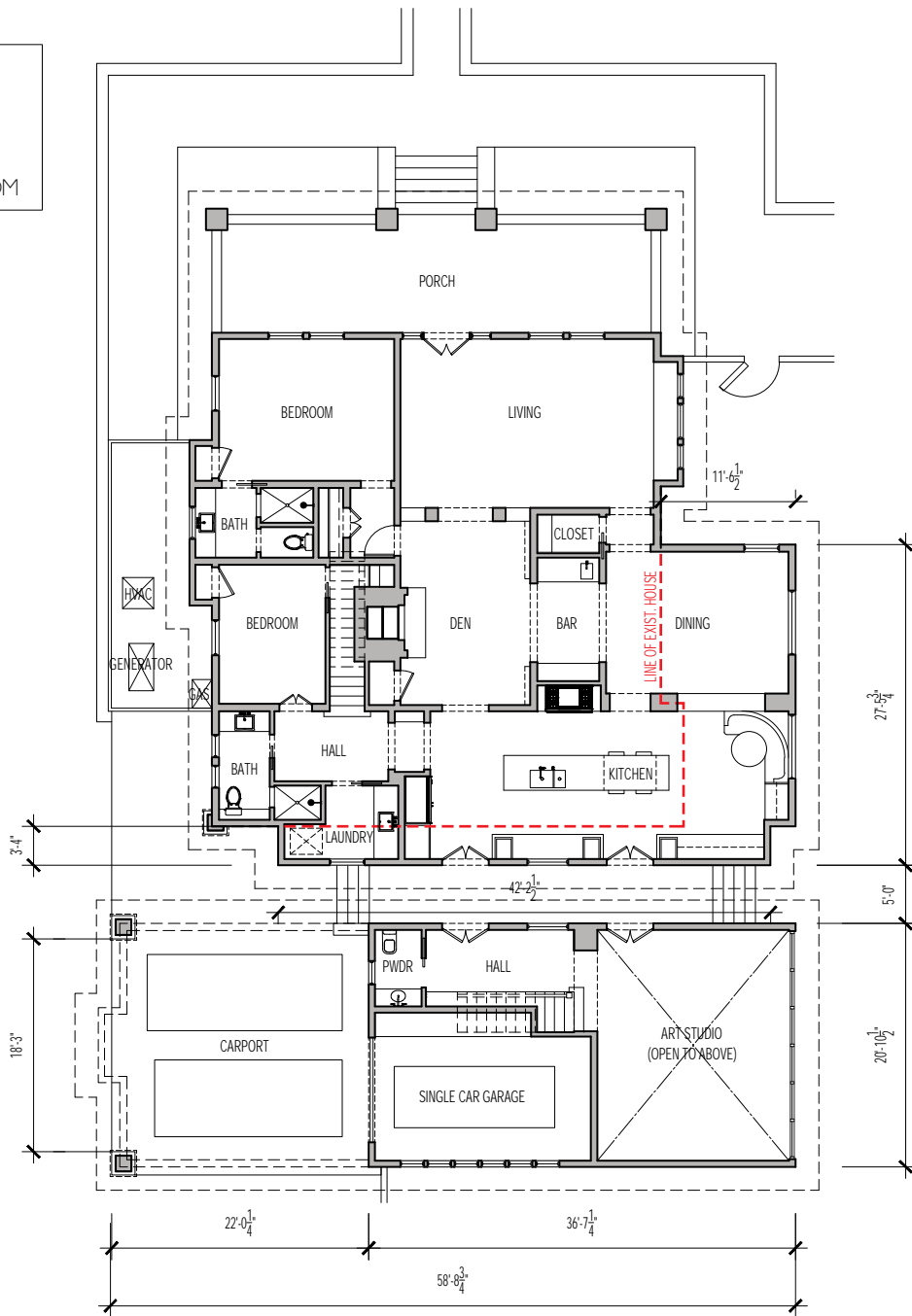


SITE PLAN
 SCALE: 1/32" = 1'-0"

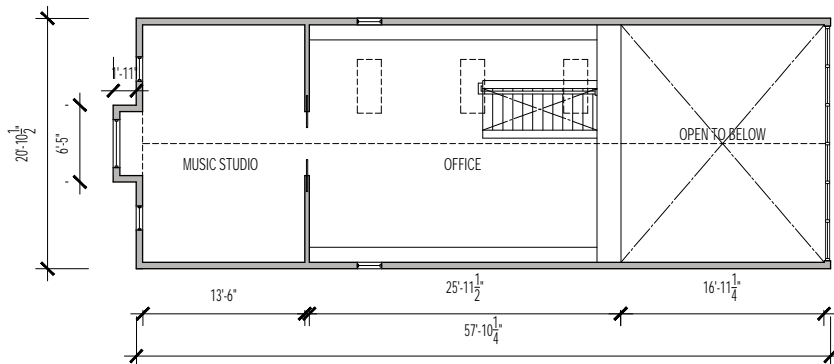


GOOGLE STREET VIEW + EXISTING PHOTOS

OWNER INFORMATION:
 22014 2ND STREET
 KELLY COLLEY
 504-559-1682
 KELLY.COLLEY@GMAIL.COM



FIRST FLOOR PLAN - HOUSE + GARAGE
 SCALE: 1/16" = 1'-0"

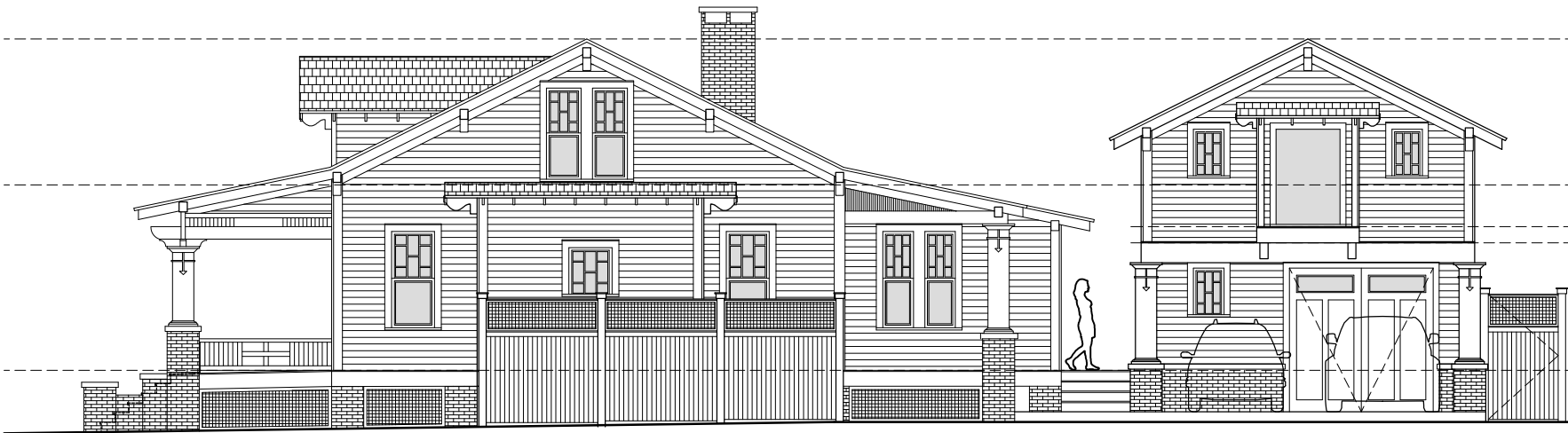


SECOND FLOOR PLAN - GARAGE
 SCALE: 1/16" = 1'-0"

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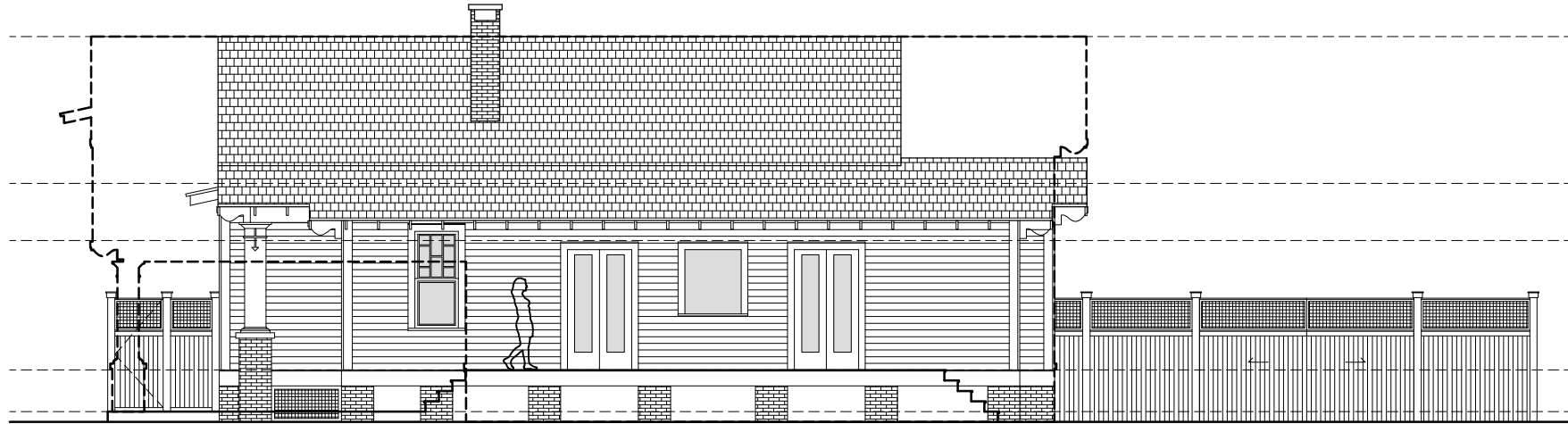


2ND STREET / NORTH ELEVATION
SCALE: 3/32" = 1'-0"

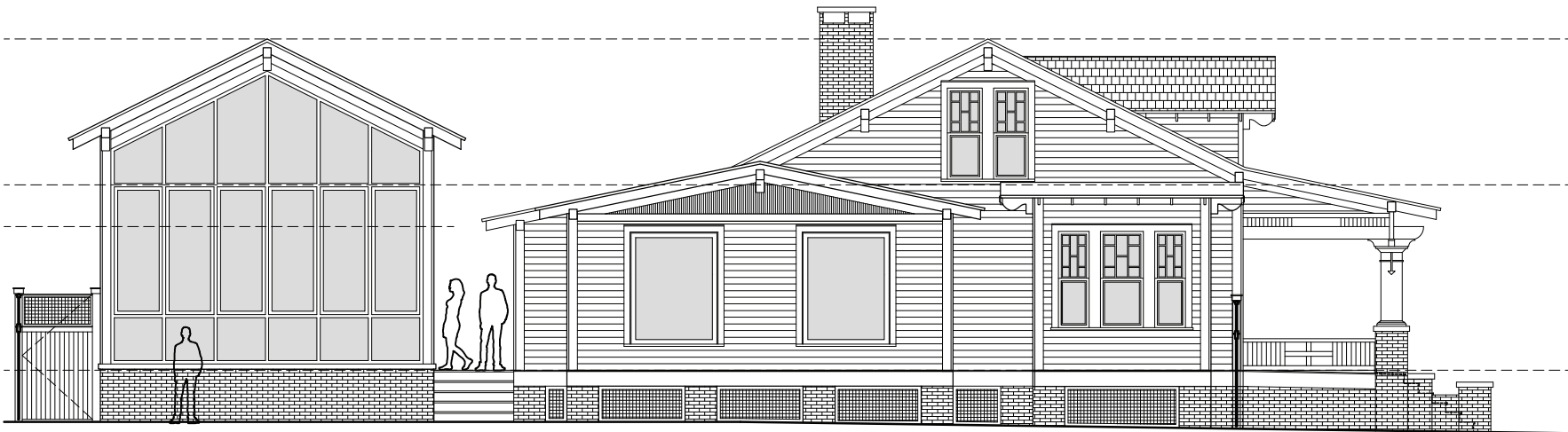


ST. MARY STREET / WEST ELEVATION
SCALE: 3/32" = 1'-0"

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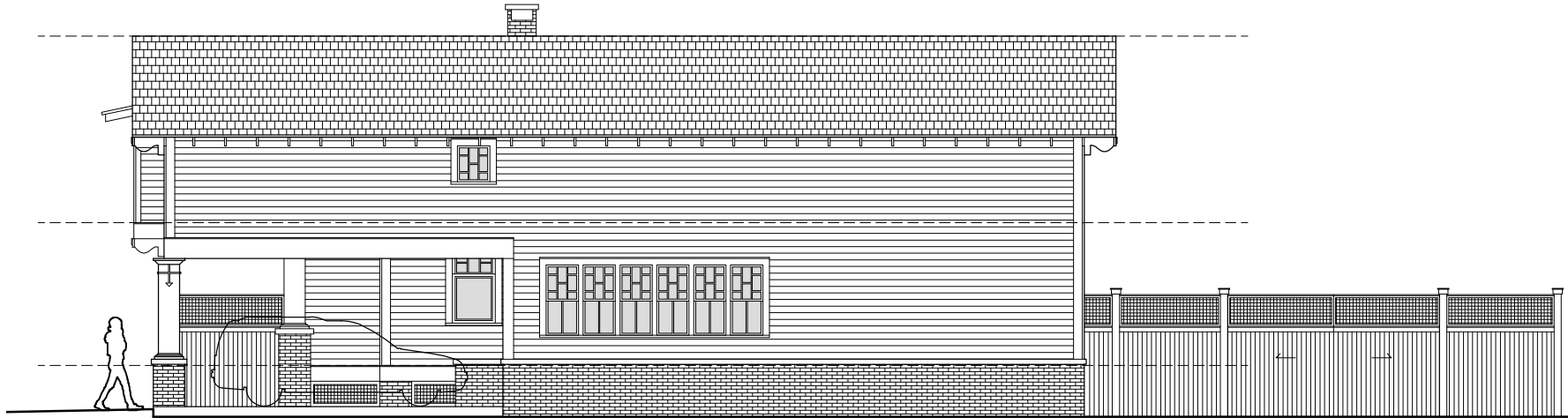


REAR YARD / SOUTH ELEVATION (GARAGE BEHIND DASHED)
SCALE: 3/32" = 1'-0"

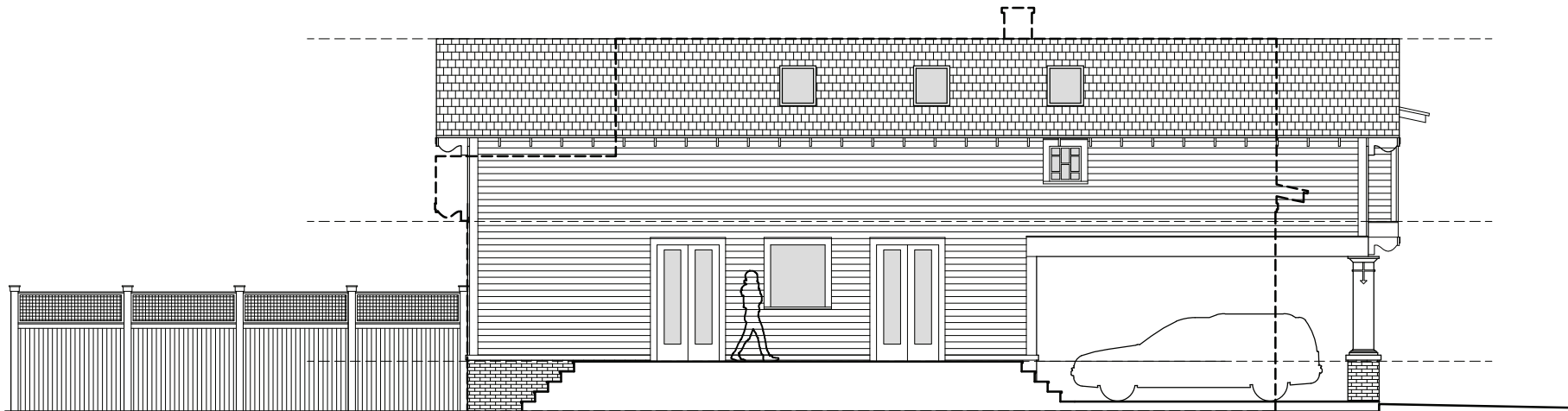


INTERIOR SIDE YARD / EAST ELEVATION
SCALE: 3/32" = 1'-0"

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KELLY.COLLEY@GMAIL.COM



REAR YARD / SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



GARAGE NORTH ELEVATION (HOUSE BEHIND DASHED)
SCALE: 3/32" = 1'-0"