

Town of Abita Springs

Historic Meeting Date: Aug 9, 2022

APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

Date: July 27, 2022

- Owner
- Applicant

Type of Approval

- New Construction
- Renovation
- Accessory Building (not livable)
- Ancillary Building (livable structure)
- Other: _____

APPLICATION FOR PERMIT TO: (Briefly describe project- Use separate paper if necessary)

Addition to home converting garage to bedroom, adding a new bedroom and bathrooms, relocation of stairs into new addition space, reconfigure 2nd level, add exterior stair for 2nd egress.

APPLICANT NAME: Harold (Hal) and Michele Tinker

Email: hmtinker@netzero.com Phone: (985) 705-8722

Address: 21464 Clear Creek Dr., Abita Springs, LA 70420

OWNER (IF DIFFERENT FROM APPLICANT):

Email: _____ Phone: _____
Address: _____

CONTRACTOR NAME & COMPANY: TBD

Email: _____ Phone: _____
Address: _____

<u>Harold R Tinker</u>	<u>7/27/22</u>	<u>Michele Tinker</u>	<u>7-27-22</u>
Signature of Owner	Date	Signature of Applicant	Date



7 DAYS NOTICE REQUIRED BEFORE FINAL APPROVAL OF CONSTRUCTION. IF YOU BUILD IN THE HISTORIC DISTRICT APPROVAL MUST BE GIVEN BEFORE YOUR CERTIFICATE OF OCCUPANCY WILL BE ISSUED.

Commissioners Initial

Ron Blitch _____

Otto Dinkelacker _____

Thad Mancil _____

Andre Monnot _____

Paul Vogt _____

Review Date: _____

Approved: _____

Commissioner Assigned: _____

Work Completed as Presented: _____

Inspected on Date: _____

APPLICATION FOR HISTORIC COMMISSION APPROVAL / CERTIFICATE OF APPROPRIATENESS

SUBJECT PROPERTY

Street Address or Legal Description: 21464 Clear Creek Dr., Abita Springs LA 70420
Nearest Cross Streets: Hwy 59 Lot Dimensions: 652.20' x 200.00'
Work Begins: Sep. 2022 Estimated Completion Date: Dec. 2022

RESIDENTIAL HISTORIC CHECK LIST

FOUNDATION Concrete Block Brick Continuous Chain Wall Raised Slab (36" above ground)

CRAWLSPACE N/A 24" Clear

SIDING Vinyl Wood Hardie Plank

ROOF Metal Fiberglass Shingles Slope: 8/12 Minimum

FRONT PORCH N/A Wood 7' Minimum Depth 2/3 Minimum Front Width of House: Yes No

CHIMNEY Stovepipe Brick None

STEPS N/A Wood Bricks Railing: Wood Spacing 4"

HEIGHT Height of Building: 25'-3 1/2 35' Maximum (chimney)

WINDOW TRIM Vinyl Wood Hardie Plank Other

TRIM Vinyl Wood Hardie Plank Other

COLUMNS Vinyl Wood Hardie Plank Other

DOORS Vinyl Wood Hardie Plank Other

SHUTTERS N/A Vinyl Wood Hardie Plank Must be 1/2 Width of Windows Yes No

ACCESSORY BUILDINGS Garage Shed Other N/A

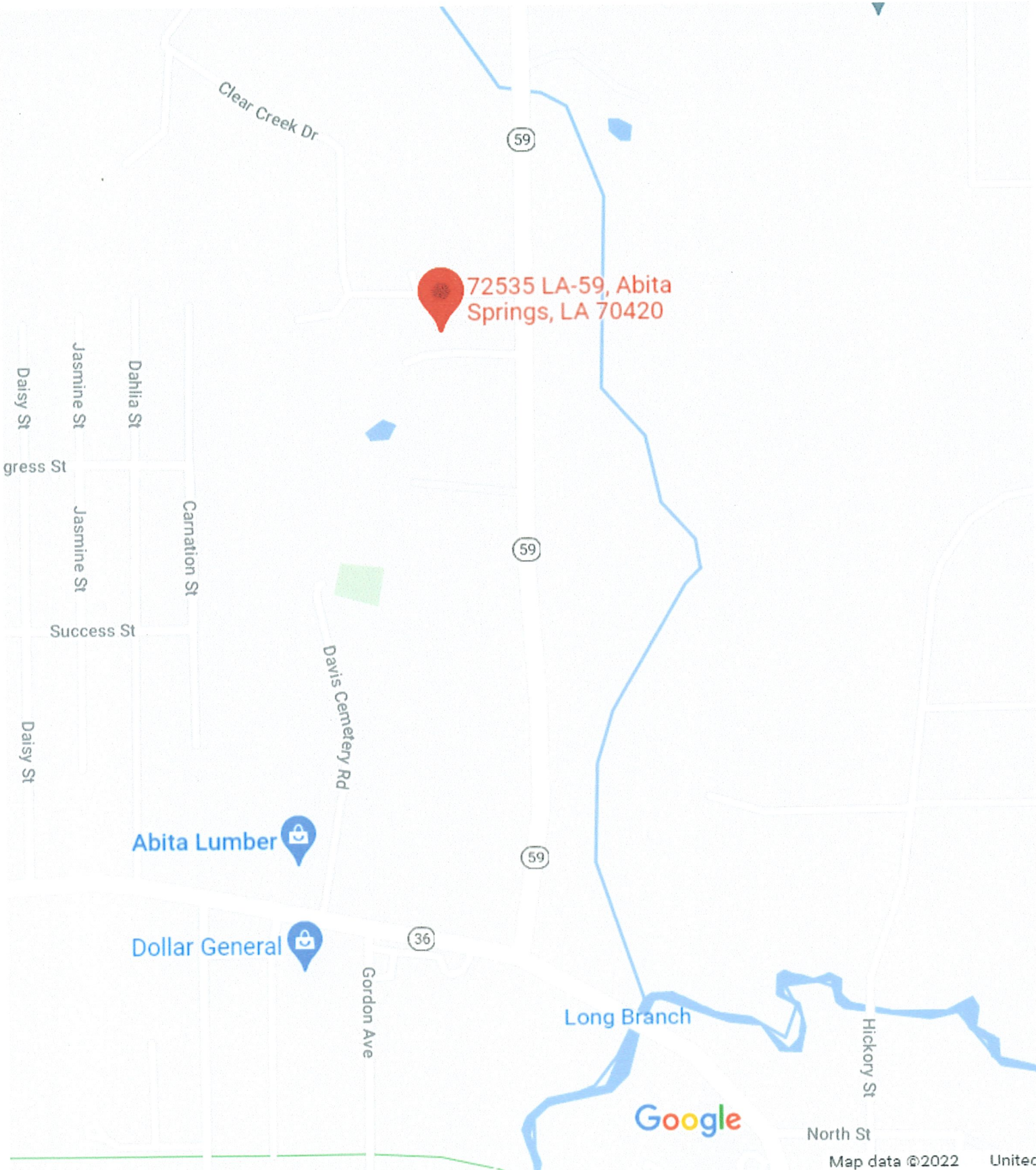
FENCES N/A Wood Type: 4' Picket

LIGHTING No Fluorescent Strip Lighting or Fixtures

SIGNS N/A Permanent Temporary

Valspar Pure White - Bldg
Front Door + Window Trim - Black

1-6



72535 LA-59, Abita Springs, LA 70420

Abita Lumber

Dollar General

Long Branch

Hickory St

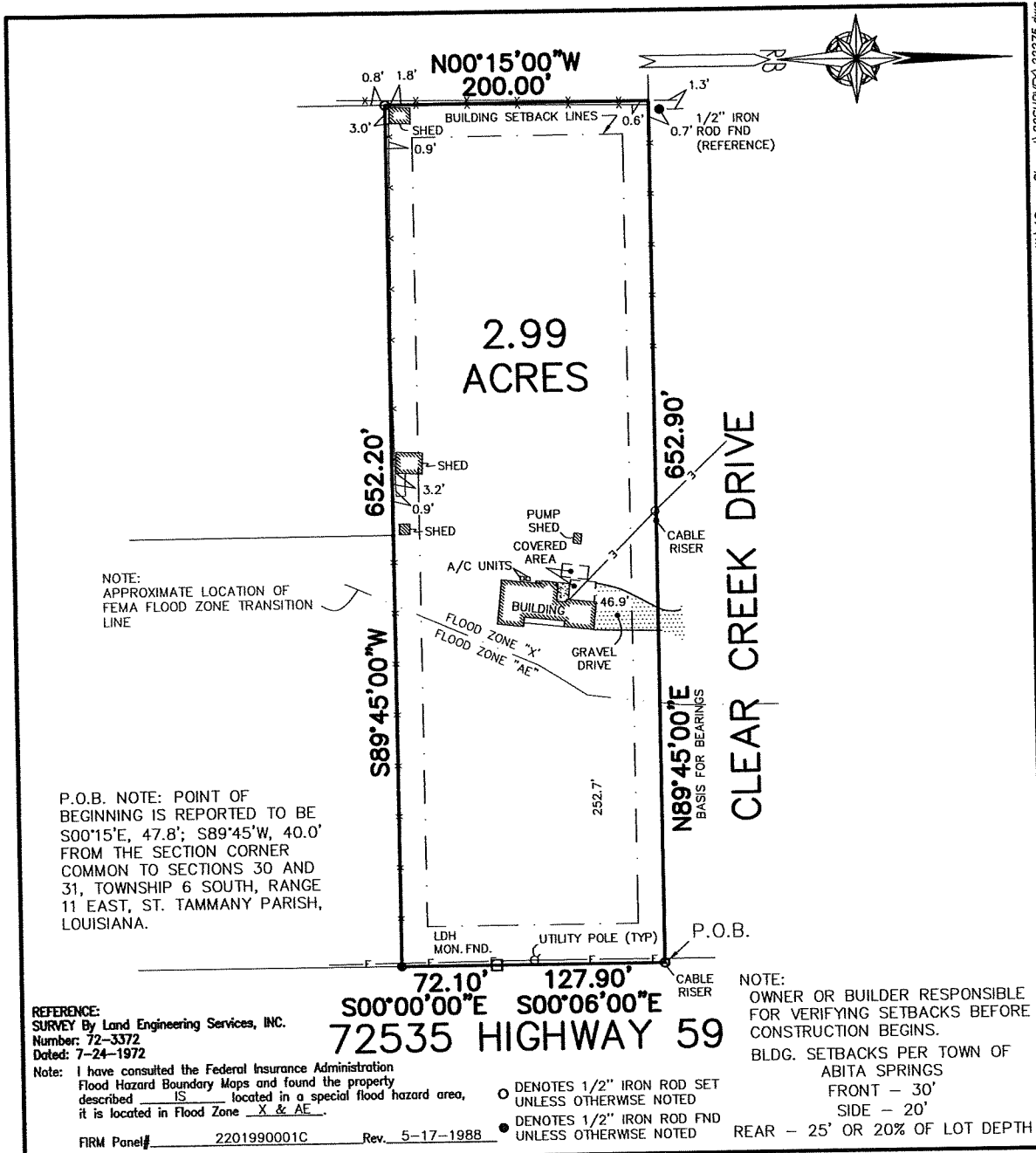
Google

North St

Map data ©2022

United

W:\1 Survey\Shared\22SURVEY\22275.dwg



NOTE:
APPROXIMATE LOCATION OF
FEMA FLOOD ZONE TRANSITION
LINE

P.O.B. NOTE: POINT OF
BEGINNING IS REPORTED TO BE
S00°15'E, 47.8'; S89°45'W, 40.0'
FROM THE SECTION CORNER
COMMON TO SECTIONS 30 AND
31, TOWNSHIP 6 SOUTH, RANGE
11 EAST, ST. TAMMANY PARISH,
LOUISIANA.

REFERENCE:
SURVEY By Land Engineering Services, INC.
Number: 72-3372
Dated: 7-24-1972

Note: I have consulted the Federal Insurance Administration
Flood Hazard Boundary Maps and found the property
described IS located in a special flood hazard area,
it is located in Flood Zone X & AE.

- DENOTES 1/2" IRON ROD SET
UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FND
UNLESS OTHERWISE NOTED

FIRM Panel# 2201990001C Rev. 5-17-1988

NOTE:
OWNER OR BUILDER RESPONSIBLE
FOR VERIFYING SETBACKS BEFORE
CONSTRUCTION BEGINS.

BLDG. SETBACKS PER TOWN OF
ABITA SPRINGS
FRONT - 30'
SIDE - 20'
REAR - 25' OR 20% OF LOT DEPTH

Survey of
A 2.99 ACRE PARCEL SITUATED IN
SECTION 36, TOWNSHIP 6 SOUTH, RANGE 11 EAST
ST. TAMMANY PARISH, LOUISIANA
FOR
BRIGHTHOUSE LEARNING CENTER

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE,
ACTUAL LEGAL OWNERSHIP, SERVICITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS,
WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER
THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE
STANDARDS FOR PROPERTY BOUNDARY SURVEYS"
FOR A CLASS C SURVEY.

ADVANCED

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

Randall W. Brown
& Associates, Inc.
Professional Land Surveyors
228 W. Causeway Approach, Mandeville, LA 70448
(985) 624-5368 FAX (985) 624-5309
info@brownsurveys.com

Date: MAY 15, 2022
Survey No. 22275
Project No. (CR5) A22275.TXT

Scale: 1" = 100'±
Drawn By: J.E.D.
Revised:

Copyright 2022 - Randall W. Brown & Associates, Inc.



Driveway off Clear Creek Dr.



Existing Layout of Home



Parcels

1150309354 62368

Assessment Number: 1150309354

Property Address: 72535 HWY 59

Owner Name: HOLLIDAY, CHARLES

Mailing Address:

Mailing Address 2: 57979 RUTLAND RD

Mailing City State Zip: AMITE, LA 70422

REID: 62368

Subdivision:

Subdivision Square:

Lot Number:

Property Description: 2.99 ACS M/L

BEING PARCEL 127.9 X 72.1 X 200 X

652.9 SEC 36 6 11 CB 683 274 UNDIV 1/2

INT & USUFRUCT RETAINED BY

CHARLES R HOLLIDAY UNDIV 1/8 INT TO

Addition Layout of Home





FRONT



RIGHT

SCALE: 1/4" = 1'0"

General Notes

No.	Revision/Issue	Date

Firm Name and Address
 Denneau Professional
 Engineering Services, LLC
 13223 State St.
 Hammond, LA 70403
 (985) 218-8037
 scott@dpesbusiness.com

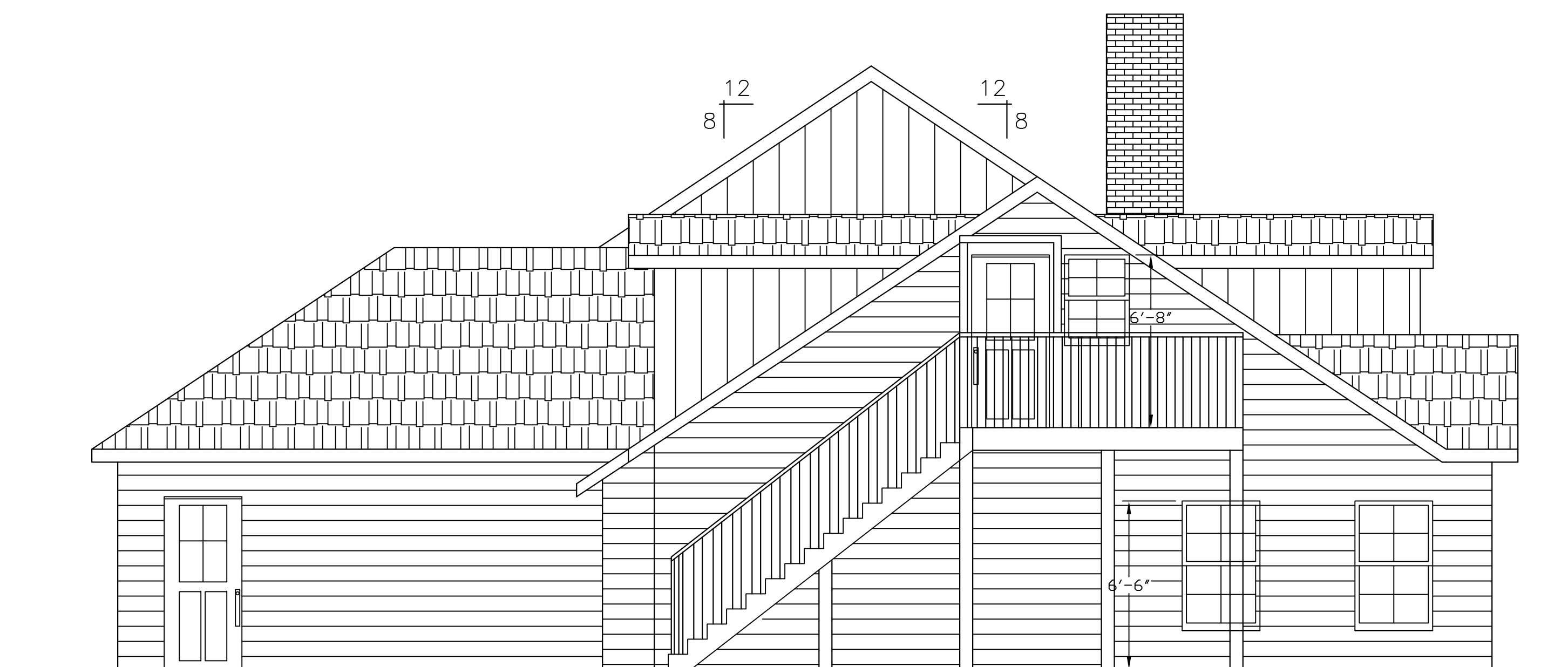
Project Name and Address
 Tinker Residence
 21464 Clear Creek Dr.
 Abita Springs, LA 70420

Project
 Addition
 Date
 7/26/2022
 Scale
 As Noted

Sheet
 A3



BACK



LEFT

SCALE: 1/4" = 1'0"

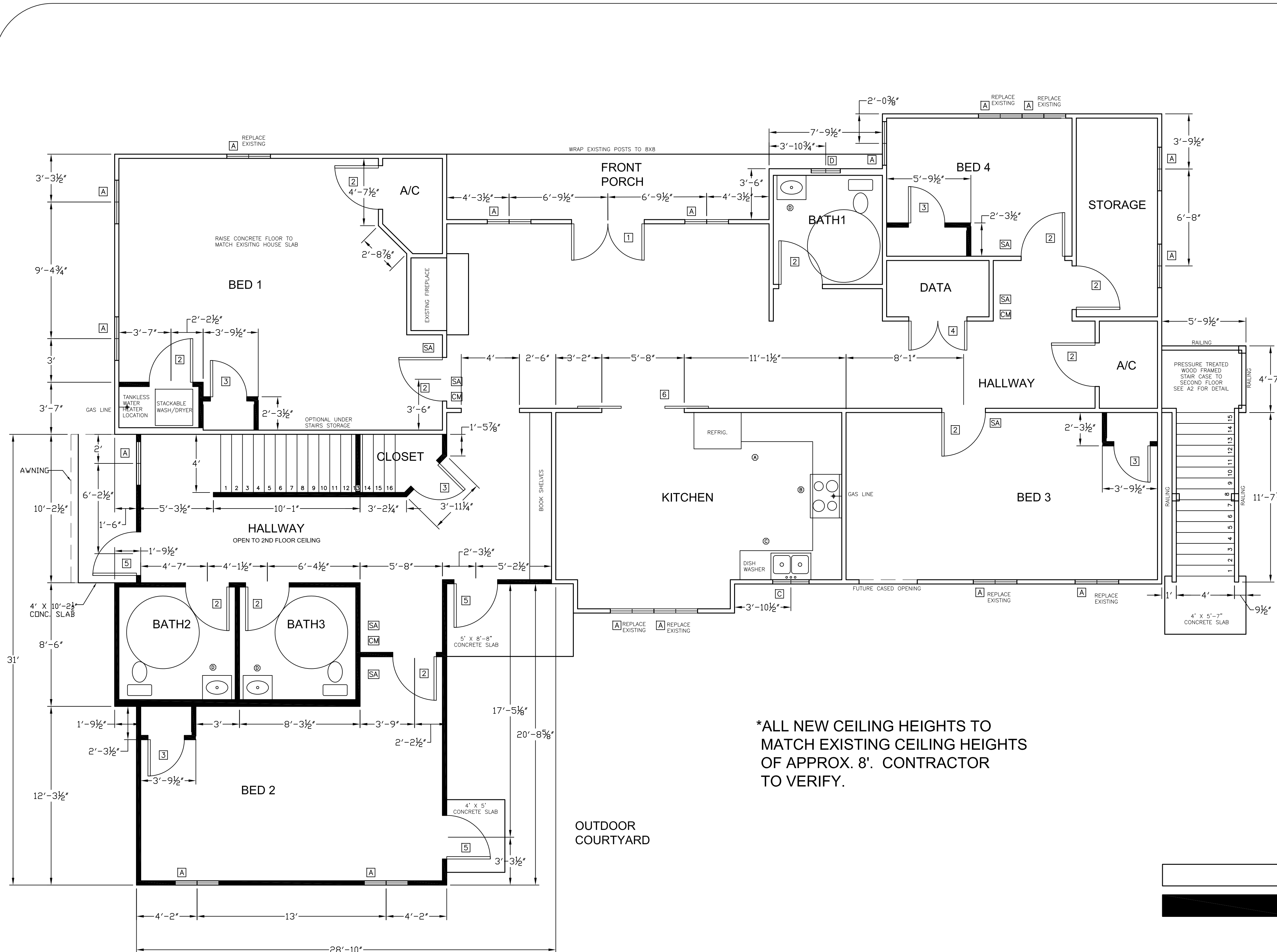
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Project Addition	Sheet A4
Date 7/26/2022	
Scale As Noted	



*ALL NEW CEILING HEIGHTS TO MATCH EXISTING CEILING HEIGHTS OF APPROX. 8'. CONTRACTOR TO VERIFY.

EXISTING WALLS TO REMAIN
 NEW STUD WALLS

DESIGN CRITERIA

2015 IBC
 2015 IRC
 2015 WFCM
 ASCE 7-10
 NEC 2014

WIND SPEED = 130MPH V-ULT
 EXPOSURE B CATEGORY II

AREA

EXIST 1ST	1749 SF
NEW FRONT PORCH	108 SF
NEW 1ST LIVING	786 SF
EXIST 2ND	659 SF
NEW 2ND LIVING	301 SF
TOTAL	3603 SF

DOOR SCHEDULE

MARK	SIZE (W X H X T)	DESCRIPTION
1	5'-0" X 6'-8" X 1 3/4"	WOOD, EXTERIOR DBL. DOOR UNIT (CENTERED WITH DORMER) 4-LITE EACH DOOR
2	3'-0" X 6'-8" X 1 3/8"	MASONITE, HOLLOW CORE, INTERIOR DOOR UNIT
2A	3'-0" X 6'-8" X 1 3/8"	FIBERGLASS, INTERIOR DOOR UNIT, 1-LITE
3	2'-6" X 6'-8" X 1 3/8"	MASONITE, HOLLOW CORE, INTERIOR DOOR UNIT
4	4'-0" X 6'-8" X 1 3/8"	MASONITE, HOLLOW CORE, INTERIOR DBL. DOOR UNIT
5	3'-0" X 6'-8" X 1 3/4"	METAL, SOLID CORE, EXTERIOR DOOR UNIT, 4-LITE
6	6'-0" X 6'-8" X 1 3/8"	WOOD, SLIDING BARN DOORS (5'-8" OPENING)

WINDOW SCHEDULE

MARK	SIZE	DESCRIPTION	LITE
A	3'-0" X 5'-0"	VINYL, SINGLE HUNG, INSULATED, LOW E GLASS	4/4
B	2'-0" X 4'-0"	VINYL, SINGLE HUNG, INSULATED, LOW E, SAFETY GLAZED PER R308.4 OF THE IRC 2015	1/1
C	2'-6" X 3'-6"	VINYL, SINGLE HUNG, INSULATED, LOW E GLASS	4/4
D	2'-0" X 4'-0"	VINYL, SINGLE HUNG, INSULATED, LOW E, OBSCURED SAFETY GLAZED PER R308.4 OF THE IRC 2015	4/4

- SA SMOKE ALARM
- CM CARBON MONOXIDE MONITOR

- NOTES:**
- BLACK TRIM WINDOWS
 - SEE SHEET A2 FOR TYPICAL STAIRS AND RAILINGS DETAILS
 - VERTICAL HARDI SIDING ON UPPER FLOOR EXTERIOR WALLS
 - HORIZONTAL HARDI SIDING ON ALL LOWER EXTERIOR WALLS

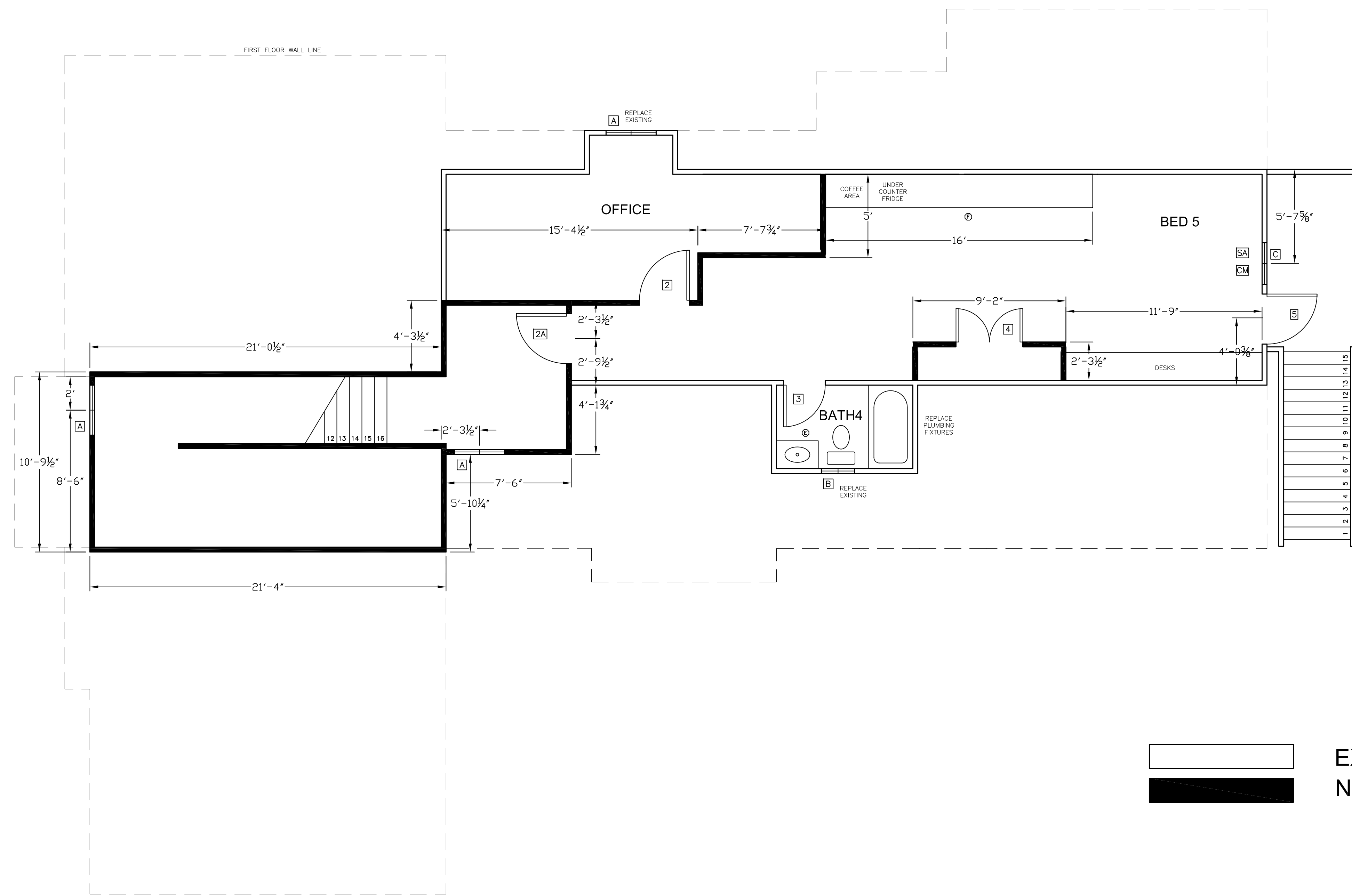
NEW 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0

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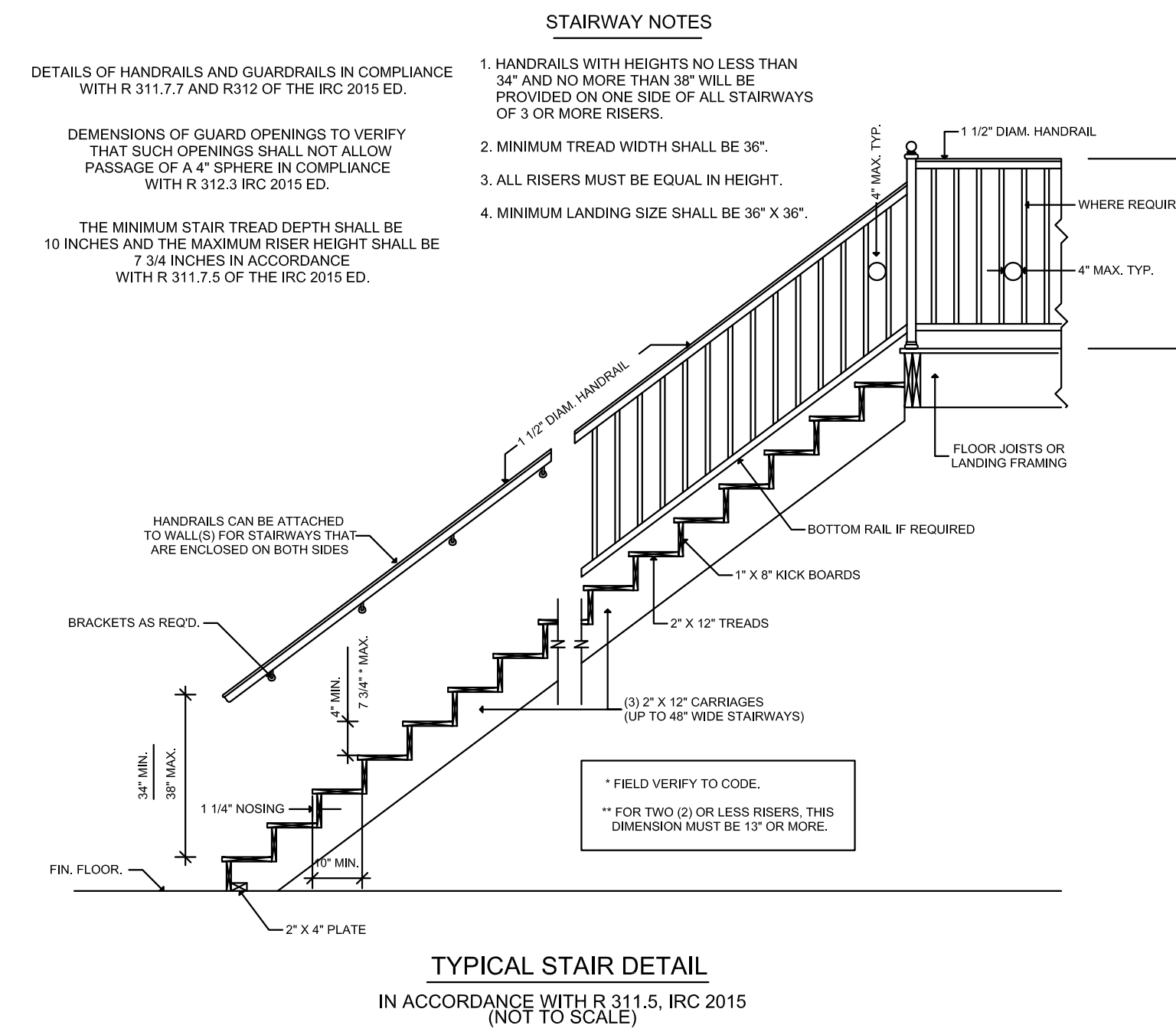
Project Addition	Sheet A1
Date 7/26/2022	
Scale As Noted	



NEW 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS TO REMAIN
 NEW STUD WALLS



General Notes		
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Project Name and Address Tinker Residence 21464 Clear Creek Dr. Abita Springs, LA 70420		
Project Addition Date 7/26/2022 Scale As Noted	Sheet A2	

